

CAMPBELL + VAN DUSEN  
ARCHITECTS

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ARCHITECT OF RECORD  
FRANK W. CAMPBELL  
FL LIC. NO. AR00146053

COPY OF THE PLAN IS NOT VALID UNLESS SIGNED,  
DATED AND DATED BY THE ARCHITECT OF RECORD.

SCALE

PROJECT DESCRIPTION:  
A NEW OFFICE BUILDING FOR  
PROVIDENCE ONE PARTNERS  
BUILDING - 01  
1145 BUSINESS CENTER DRIVE  
HEATHROW, FLORIDA - 32746

CONSTRUCTION

10.21.2025

REVISION	DESCRIPTION	DATE
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PROJECT TEAM  
Principal Architect  
F. CAMPBELL

PROJECT MANAGER  
B. BUCKLEY

PROVIDENCE ONE PARTNERS

24-0919-01

NOTES

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#### CONTRACTOR NOTES:

1. OVERTIME: WORK PERFORMED DURING OVERTIME HOURS NOT INCLUDED IN THE CONTRACT FOR CONSTRUCTION SHALL BE APPROVED IN ADVANCE VIA CHANGE ORDER.
2. ALL WORK SHALL BE DONE IN A SAFE WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH THE LOCAL AND/OR STATE (IF APPLICABLE) BUILDING CODES, NATIONAL ELECTRIC CODE (NEC), ADA-ADAACS (ADOPTED HANDICAPP ACCESSIBILITY REQUIREMENTS), OSHA AND ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND AUTHORITIES HAVING JURISDICTION.
3. TO THE EXTENT REQUIRED BY LAW ALL WORK SHALL BE PERFORMED BY INDIVIDUALS DULY LICENSED AND AUTHORIZED BY LAW TO PERFORM SAID WORK.
4. CONTRACTOR MAY AT ITS DISCRETION ENGAGE SUBCONTRACTORS TO PERFORM WORK HEREUNDER. PROVIDED CONTRACTOR SHALL FULLY PAY SAID SUBCONTRACTOR AND IN ALL INSTANCES REMAIN RESPONSIBLE FOR THE PROPER COMPLETION OF THIS CONTRACT.
5. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THEM OF ANY RESPONSIBILITY FOR PERFORMING THEIR WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
6. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE BUILDING SECURITY AT ALL TIMES. THIS INCLUDES KEEPING THE BUILDING SECURE FROM PIRACIES, ENVIRONMENTAL ELEMENTS OR HAZARDS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE INTEGRITY OF ALL LOCKING SECURITY SYSTEMS.
7. CONTRACTOR SHALL FURNISH OWNER APPROPRIATE RELEASES OR WAIVERS OF LIEN FOR ALL WORK PERFORMED OR MATERIALS PROVIDED AT THE TIME THE NEXT PERIODIC PAYMENT SHALL BE DUE.
8. CONTRACTOR SHALL PROVIDE ALL CHANGE ORDERS IN WRITING. CHANGE ORDER SHALL DESCRIBE ALL COST, TIME AND INCLUDE A DESCRIPTION OF THE WORK. NO WORK SHALL COMMENCE WITHOUT CHANGE ORDER BEING SIGNED AND APPROVED BY BOTH OWNER AND ARCHITECT.
9. CONTRACTOR WARRANTS IT IS ADEQUATELY INSURED FOR INJURY TO ITS EMPLOYEES AND OTHERS INCURRING LOSS OR INJURY AS A RESULT OF THE ACTS OF CONTRACTOR OR ITS EMPLOYEES AND SUBCONTRACTORS.
10. CONTRACTOR SHALL, AT ITS OWN EXPENSE OBTAIN ALL PERMITS NECESSARY FOR THE WORK TO BE PERFORMED.
11. CONTRACTOR AGREES TO REMOVE ALL DEBRIS AND LEAVE THE PREMISES IN BROOM CLEAN CONDITION.
12. IN THE EVENT OWNER SHALL FAIL TO PAY ANY PERIODIC OR INSTALLMENT PAYMENT DUE HEREUNDER, CONTRACTOR MAY CEASE WORK WITHOUT BREACH PENDING PAYMENT OR RESOLUTION OF ANY DISPUTE.
13. CONTRACTOR SHALL NOT BE LIABLE FOR ANY DELAY DUE TO CIRCUMSTANCES BEYOND ITS CONTROL INCLUDING STRIKES, CASUALTY OR GENERAL UNAVAILABILITY OF MATERIALS.
14. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA RULES AND REGULATIONS.
15. ALL CONSTRUCTION CONDITIONS TO BE VERIFIED IN THE FIELD. ANY DISCREPANCIES, OMISSIONS AND ERRORS DISCOVERED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION AT ONCE. THIS INCLUDES EXISTING AND NEW CONDITIONS AND DIMENSIONS. THE CONTRACTOR IS NOT TO PROCEED WITH OUT CONTACTING THE ARCHITECT.
16. THE CONTRACT DOCUMENTS ARE A GRAPHIC REPRESENTATION OF THE CONDITIONS AND THE WORK TO BE DONE. THESE DIMENSIONS SHALL NOT BE SCALED. THE WRITTEN DIMENSIONS SHALL TAKE PRECEDENT OVER ANY AND ALL SCALED DIMENSIONS. THE MANUFACTURER'S SPECIFICATIONS SUPERSEDE THE CONTRACT DOCUMENTS AS APPLICABLE.
17. ANY DEVIATION FROM THE CONTRACT DOCUMENTS MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. ANY CHANGES THAT ARE NOT APPROVED SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
18. ALL MATERIALS, SYSTEMS, AND COMPONENTS SHALL BE AS SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. THE CONTRACTOR COORDINATES THE WORK OF ALL TRADES, IN ORDER TO ACHIEVE PROPER COORDINATION.
19. THE CONTRACTOR IS RESPONSIBLE FOR THE STORAGE AND SECURITY OF ALL BUILDING MATERIALS. THEY SHALL KEEP THE PREMISES AND WORK AREA IN A CLEAN, ORDERLY HEAT AND ORDERLY CONDITION. THE CONTRACTOR SHALL NOT ALLOW ANY MATERIALS TO INTERFERE WITH ANY CONSTRUCTION CURRENTLY UNDER WAY.
20. THE CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF DEBRIS AND IS TO REMOVE ALL TRASH AND DEBRIS FROM THE CONSTRUCTION AREA DAILY.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS TO PROHIBIT DELAYS OF THE CONSTRUCTION SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.
22. THE GENERAL CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE ENGINEER/ARCHITECT FOR VERIFICATIONS, RESPONSES AND SUBMISSIONS.
23. DURING ENTIRE CONSTRUCTION PERIOD, PROVIDE ONE U.L. LISTED 2A-208C DRY TYPE, 150 AMP, 480V, 3PH, 3W, 480/277V, 3/4" DISCHARGE, 1/2" GALLON WATER AT THE CONTRACTOR'S OPTION, OR ONE STANDARD U.L. LISTED 210 GALLON WATER TIGHTER IN EACH 3000 SQ. FT. OF WORK AREA OR FRACTION THEREOF (MINIMUM OF TWO AVAILABLE IN ALL CONSTRUCTION AREAS AT ALL TIMES).
24. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENT PREMISES FROM MOISTURE, CONSTRUCTION NOISE, DUST AND DEBRIS.
25. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING FACILITY TO REMAIN SHALL BE REPAIRED TO BEFORE DAMAGE CONDITIONS AT THE CONTRACTOR'S SOLE EXPENSE.
26. COORDINATE ALL WORK TO BE DONE WITH ALL THE CONTRACTORS INVOLVED PRIOR TO INSTALLATION.
27. FIELD VERIFY LOCATIONS OF PIPING, EQUIPMENT, STRUCTURAL COMPONENTS, ETC. PRIOR TO COMMENCING ANY WORK.
28. PROVIDE ADA COMPLIANT PRO WRAP DRAIN AND STOP INSULATION SYSTEM OR DRAINSHIELD ON ALL LAVATORIES.
29. ALL SPECIFIED ELECTRICAL NOTES ARE REQUIRED, ALL EQUIPMENT AND OUTLETS ARE TO BE PLACED BY GENERAL CONTRACTOR.
30. FIRE EXTINGUISHERS, SMOKE AND FIRE DETECTION SYSTEMS TO BE INSTALLED BY GENERAL CONTRACTOR PER LOCAL CODE.
31. ALL DIMENSIONS TO BE VERIFIED BY GENERAL CONTRACTOR ON SITE.
32. GENERAL CONTRACTOR SHALL MAINTAIN FINAL CONNECTIONS TO ALL OWNER FURNISHED ITEMS.
33. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE DELIVERY, RECEIVE, UNLOAD, STORE, PROJECT ITEMS CALLED FOR IN SCOPE OF WORK FROM THE DELIVERY TRUCK AND STORAGE AND THROUGH THE COMPLETE INSTALLATION PROCESS. ANY ITEMS DAMAGED AFTER RECEIVING BY CONTRACTOR SHALL BE REPLACED AS DETERMINED BY THE OWNER, AT THE CONTRACTOR'S SOLE EXPENSE.
34. ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED MOISTURE RESISTANT.
35. ALL ROOF PENETRATIONS AS REQUIRED TO MAINTAIN A WATERIGHT / PRE- PENETRATED ROOF SYSTEM.
36. PROVIDE SIGN ON EXTERIOR DOORS, 1" HIGH LETTERS.
37. ALL DOOR HARDWARE TO MEET ADA GUIDELINES.
38. PROVIDE SIGN STAINING MAXIMUM OCCUPANT LOAD WHERE REQUIRED BY AUTHORITY HAVING JURISDICTION.
39. PROVIDE FIRESTOPPING MATERIAL AT ALL PENETRATIONS OF ANY FIRE WALL.

#### ACCESSIBILITY NOTES:

1. H.C. ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCE.
2. THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAX CROSS SLOPE 2% WALKING SURFACE SLOPING GREATER THAN 2% SHALL BE SURF RESISTANT.
3. EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3'6" WIDE BY NOT LESS THAN 4'8" HIGH CAPABLE OF OPENING 90 DEGREES AND MOUNTED TO THAT THE CLEAR WIDTH OF EXIT WAY IS 32" MIN.
4. THRESHOLD TO BE MAX 1/4" ABOVE ADJACENT FINISH FLOOR.
5. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS.
6. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED.
7. PROVIDE LEVER TYPE HARDWARE, PANG BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE (30" AT 48" AFF.)

## DOORS & MANEUVERING CLEARANCES

DOORS, DOORWAYS, AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH:

**402.1 REVOLVING DOORS, GATES, AND TURNSTILES:** REVOLVING DOORS, REVOLVING GATES, AND TURNSTILES SHALL NOT BE PART OF AN ACCESSIBLE ROUTE.

**402.2 DOUBLE LEAF DOORS AND GATES:** AT LEAST ONE OF THE ACTIVE LEAVES OF DOORWAYS WITH TWO LEAVES SHALL COMPLY WITH 402.2.1 AND 402.2.2.

**402.2.1 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITHIN 36 INCHES (914 MM) MINIMUM AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND. SHALL NOT EXCEED 4 INCHES (103 MM).

**402.2.2 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITHIN 36 INCHES (914 MM) MINIMUM AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND. SHALL NOT EXCEED 4 INCHES (103 MM).

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**402.2.21 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITHIN 36 INCHES (914 MM) MINIMUM AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND. SHALL NOT EXCEED 4 INCHES (103 MM).

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**402.2.23 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITHIN 36 INCHES (914 MM) MINIMUM AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND. SHALL NOT EXCEED 4 INCHES (103 MM).

**402.2.24 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITHIN 36 INCHES (914 MM) MINIMUM AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND. SHALL NOT EXCEED 4 INCHES (103 MM).

**402.2.25 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITHIN 36 INCHES (914 MM) MINIMUM AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND. SHALL NOT EXCEED 4 INCHES (103 MM).

**402.2.26 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITHIN 36 INCHES (914 MM) MINIMUM AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND. SHALL NOT EXCEED 4 INCHES (103 MM).

**402.2.27 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITHIN 36 INCHES (914 MM) MINIMUM AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND. SHALL NOT EXCEED 4 INCHES (103 MM).

**402.2.28 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJECTIONS INTO THE REQUIRED CLEAR OPENING WITHIN 36 INCHES (914 MM) MINIMUM AND 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND. SHALL NOT EXCEED 4 INCHES (103 MM).

**402.2.29 CLEAR WIDTH:** DOOR OPENINGS SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES (813 MM) MINIMUM. CLEAR OPENINGS OF DOORWAYS WITH SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP WITH THE DOOR OPEN 90 DEGREES. OPENINGS ABOVE THAT SIZE SHALL BE 30 INCHES (762 MM) MINIMUM. CLEAR OPENINGS OF 36 INCHES (914 MM) MINIMUM. THERE SHALL BE NO PROJE













ARCHITECT OF RECORD  
FRANK W. CAMPBELL AIA  
FL LIC NO. AR0016053

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FOR

## CONSTRUCTION

21.2025

PRINCIPAL IN CHARGE

ECT NUMBER

-0919-01

### ADDITIONAL TYPES /

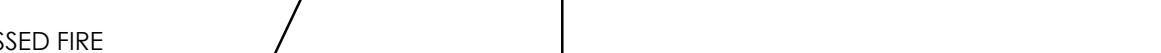
PARTITION TYPES/  
DETAILS

## DETAILS

T NUMBER

10.5

### 20.3



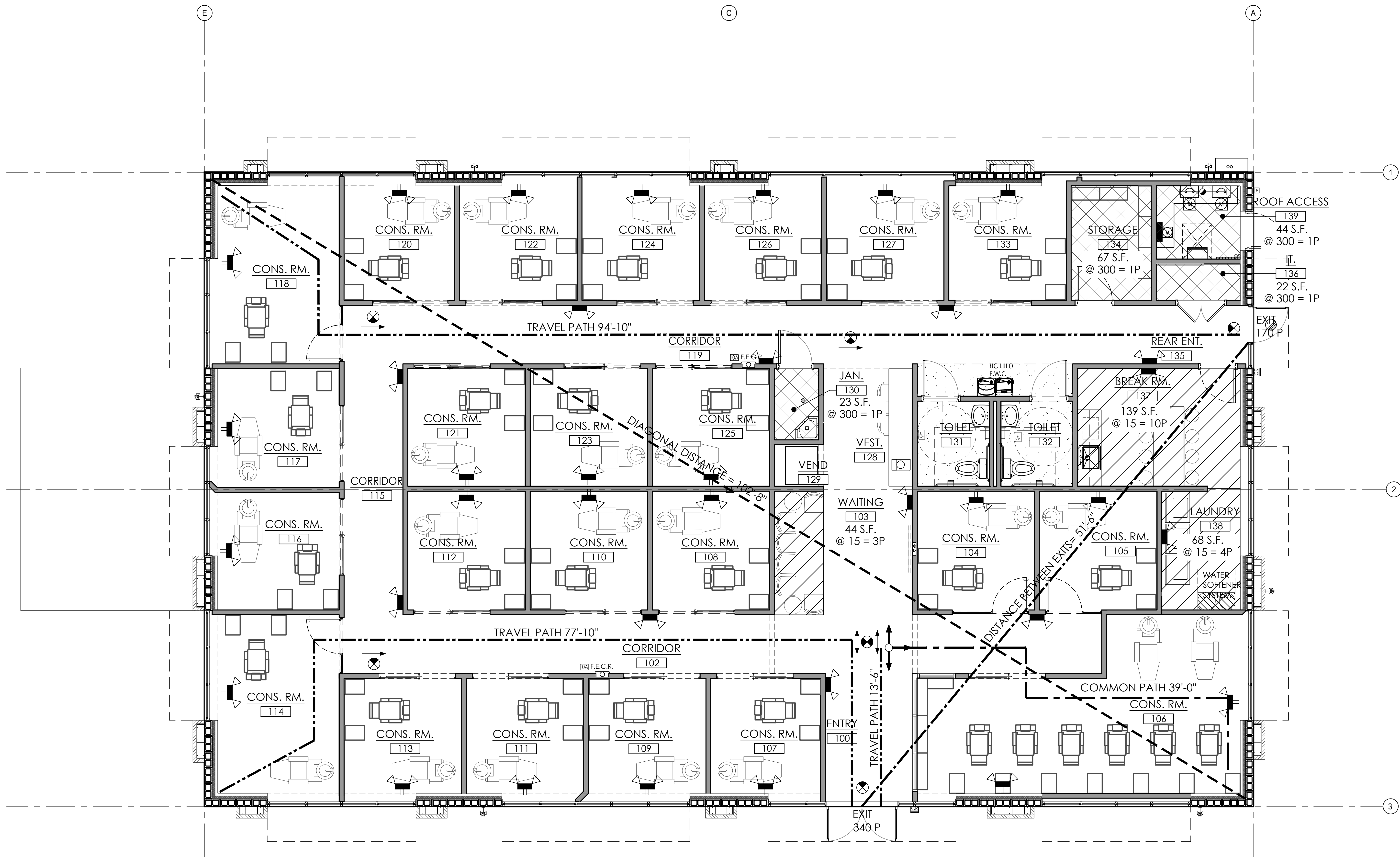
2/A0.5 DETAILS SCALE: 3" = 1'-0"



1/A0.5 WALL TYPES A/B/C/D/E/F/G/H SCALE: N.T.S.

A0.5





1/A0.6 LIFE SAFETY PLAN -BUILDING 1

SCALE: 1/4" = 1'-0"

LIFE SAFETY LEGEND	
ALL DIMENSIONS ARE ON CENTER FROM FINISHED INTERIOR	
SYMBOL	DESCRIPTION
	DIRECTION OF TRAVEL
	TRAVEL PATH
	DISTANCE BETWEEN EXITS
	DIAGONAL DISTANCE
	1 HOUR FIRE RATED WALL ASSEMBLY
	EXISTING WALL MOUNTED FIRE EXTINGUISHER
	NEW FLUORESCENT 2'X2' FIXTURE EMERGENCY LIGHT WITH 90 MINUTE BATTERY BACKUP.
	LIGHTED EXIT SIGN: TWO SIDED, FROM DUAL DIRECTION, W/BATTERY BACKUP.
	LIGHTED EXIT SIGN: SINGLE SIDED, FROM SINGLE DIRECTION, W/BATTERY BACKUP.
	LIGHTED EXIT SIGN & DUAL EXIT LIGHTING COMBO: SINGLE AND OR DUAL DIRECTION, W/BATTERY BACKUP.
	NEW WALL RECESSED FIRE EXTINGUISHER
	KEYNOTE SYMBOL
* FOR SYMBOLS AND REQUIREMENTS SEE ELECTRICAL SHEETS.	
GENERAL NOTES	
THE MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL BE: FOR EXITS AND EXIT ACCESS CLASS B FOR ALL OTHER AREAS CLASS C	
KEYED NOTES	
NOTE:	REUSE EXISTING WALL MOUNTED FIRE EXTINGUISHER U.N.O..
10A	PROVIDE RECESSED FIRE EXTINGUISHER CABINET, B.O.D. LARSENS (OCULUT) SERIES WITH BLACK LETTERING) FINISH SHALL #4 304 STAINLESS STEEL. LOCATE FIRE EXTINGUISHER CABINETS IN ACCORDANCE W/LOCAL CODES & PROVIDE ARCHITECT W/ DRAWING OF LOCATIONS FOR REVIEW/APPROVAL PRIOR TO FRAMING OF WALLS. AVOID LOCATING IN FIRE RATED PARTITION (PROVIDE SECOND LAYER OF 5/8" TYPE "X" G.W.B. AT BACK SIDE OF CABINET IF LOCATING IN A FIRE RATED PARTITION). CONFIRM FINAL LOCATION AND QUANTITIES OF DEVICES WITH LOCAL FIRE OFFICIAL.
1	EGRESS WILL BE MAINTAINED WHILE CONSTRUCTION IS ONGOING. MAINTAIN REQUIRED MEANS OF EGRESS AND REQUIRED FIRE PROTECTION FEATURES AS REQUIRED PER IFPC, 6TH EDITION, NFPA 1, CHAPTER 4, SECTION 4.5.6.1.
2	ACCUMULATIONS OF COMBUSTIBLE WASTE MATERIAL, DUST, AND DEBRIS SHALL BE REMOVED FROM THE STRUCTURE AND ITS IMMEDIATE VICINITY AT THE END OF EACH WORK SHIFT OR MORE FREQUENTLY AS NECESSARY FOR SAFE OPERATIONS. IFPC, NFPA 1, UNIFORM FIRE CODE, CHAPTER 16, SECTION 16.2.2.

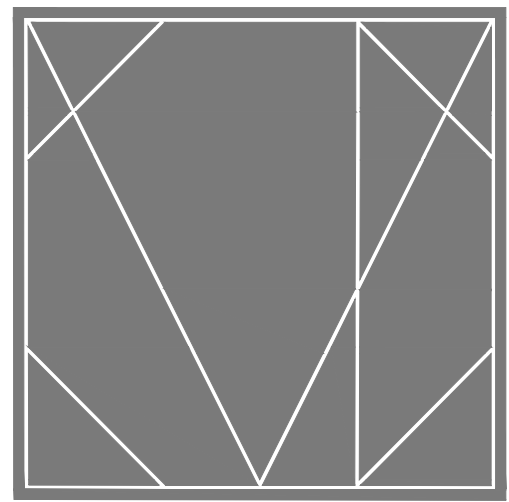
PROPOSED BUSINESS OCCUPANCY

OVERALL BUILDING AREA SF.....=4,824 S.F.  
COMMON AREA.....= 812 S.F.  
TOTAL OFFICE AREA.....=4,420 S.F.  
BUSINESS OCC.....3,608 S.F.@150= 25P

OTHER OCCUPANCIES GROUP B 448 SF

WAITING 103: 44 SF@ 15= 3P  
JANITOR 130: 23 SF@ 300= 1P  
STORAGE 134: 64 SF@ 300= 1P  
IT 136: 22 SF@ 300=1P  
BREAK RM. 137: 139 SF@ 15= 10P  
LAUNDRY 138: 68 SF@ 15=5P  
ROOF ACCESS 139: 44 SF@ 300=1P

TOTAL OCCUPANCY =47P  
EXIT CAPACITY PROVIDED = 510P  
OVERALL DIAGONAL =102'-8"  
DISTANCE BETWEEN EXITS = 51'-6"  
COMMON PATH OF TRAVEL DISTANCE = 39'-0"  
MAX TRAVEL DISTANCE = 94'-10"



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PROJECT DESCRIPTION:  
A NEW OFFICE BUILDING FOR  
PROVIDENCE ONE PARTNERS  
BUILDING - 01  
1145 BUSINESS CENTER DRIVE  
HEATHROW, FLORIDA, 32746

CONSTRUCTION

10.21.2025

NO.	DESCRIPTION	DATE

PROJECT TEAM  
PROJECT ARCHITECT:  
F. CAMPBELL  
PROJECT MANAGER:  
B. BUCKLEY

CLIENT NAME  
Providence One Partners

PROJECT NUMBER  
24-0919-01

SHEET TITLE

LIFE SAFETY PLAN

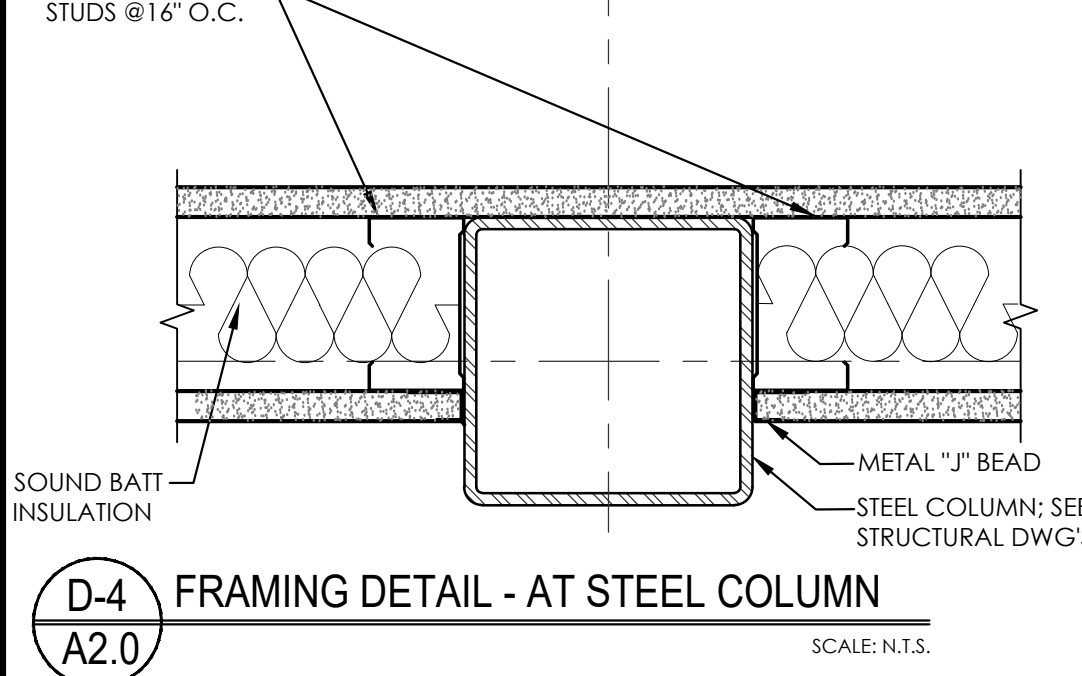
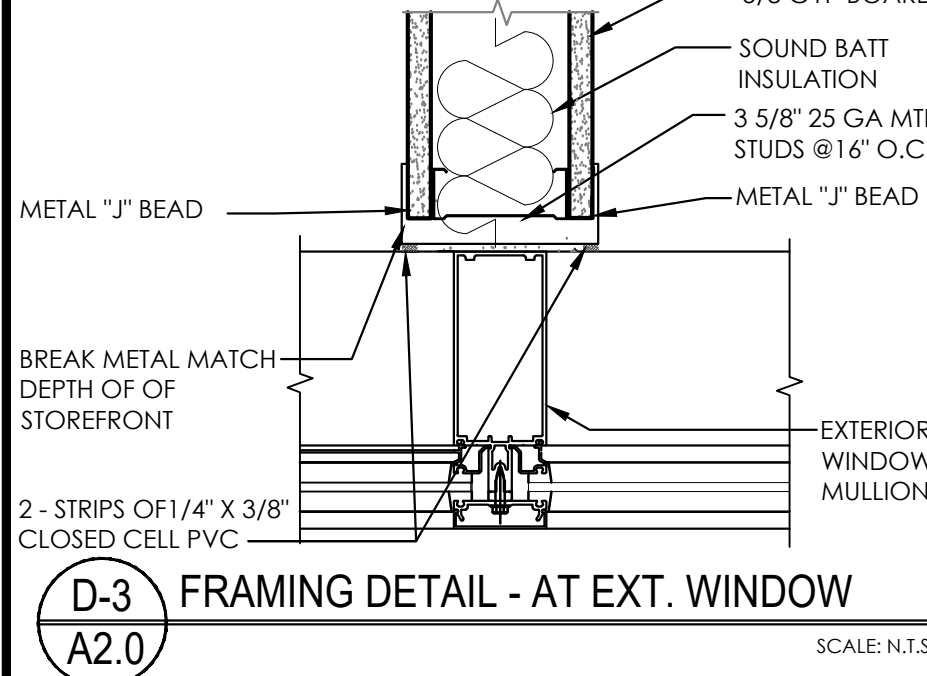
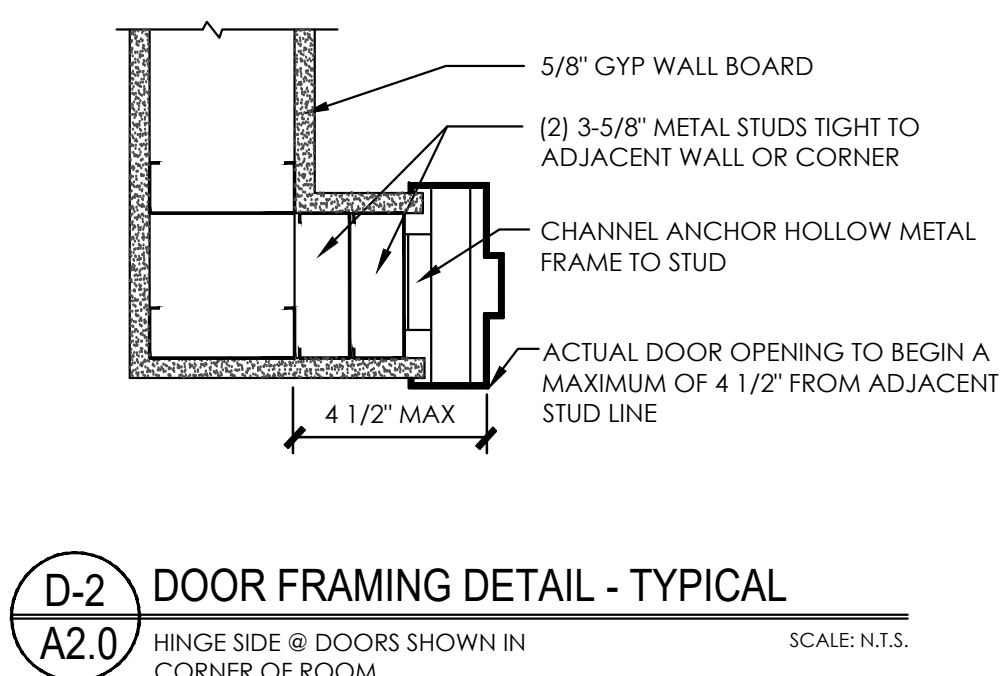
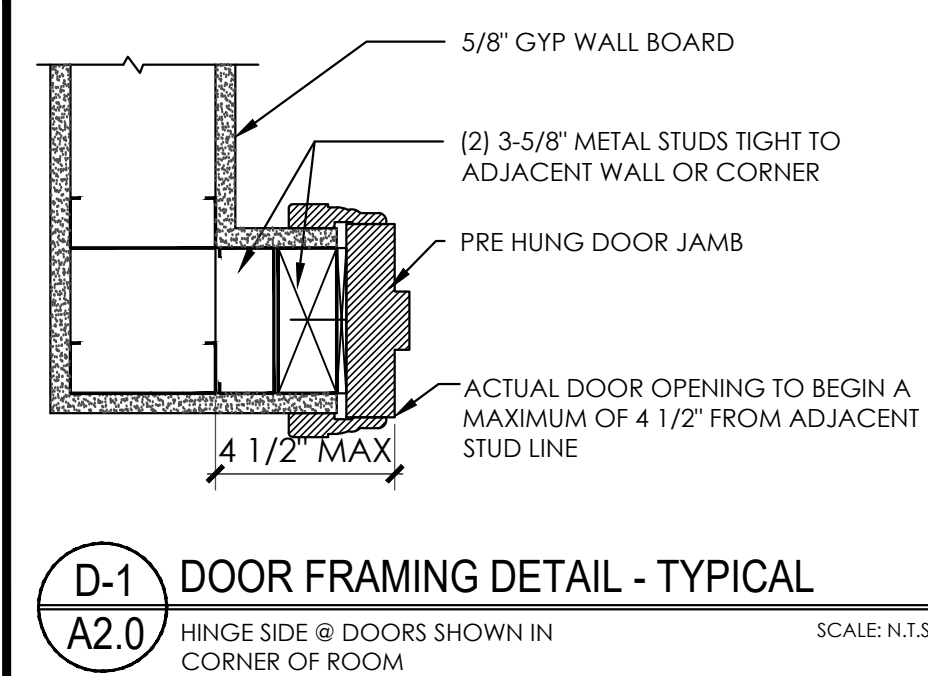
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A0.6



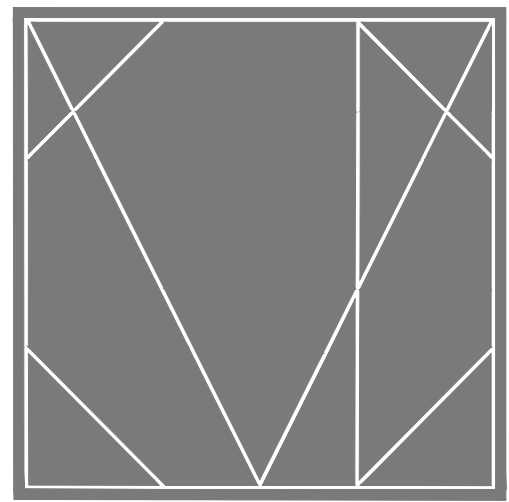


SCALE: 1/4" = 1'-0"

	ROOM NUMBER		SECTION	
	WINDOW TYPE*		DETAIL	
	DOOR SYMBOL- SEE DOOR SCHEDULE *		FINISHED CLEARANCE	} MAY BE COMBINED
	DOOR CONTACT		MINIMUM DIMENSION	
	CARD READER		VERIFY DIMENSION	
	CASED OPENING*		RADIUS OF CLEARANCE	
	WALL TYPE - SEE WALL LEGEND & SHEET A0.5		ALIGNMENT LINE	
----	ITEM ABOVE OR FURNITURE/EQUIPMENT N.I.C.		CENTERLINE	
-----	ITEM BELOW	P08	POINT OF BEGINNING FOR LAYOUT	
	INTERIOR & CABINET ELEVATIONS			







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REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TEAM  
PROJECT MANAGER  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME  
Providence One Partners

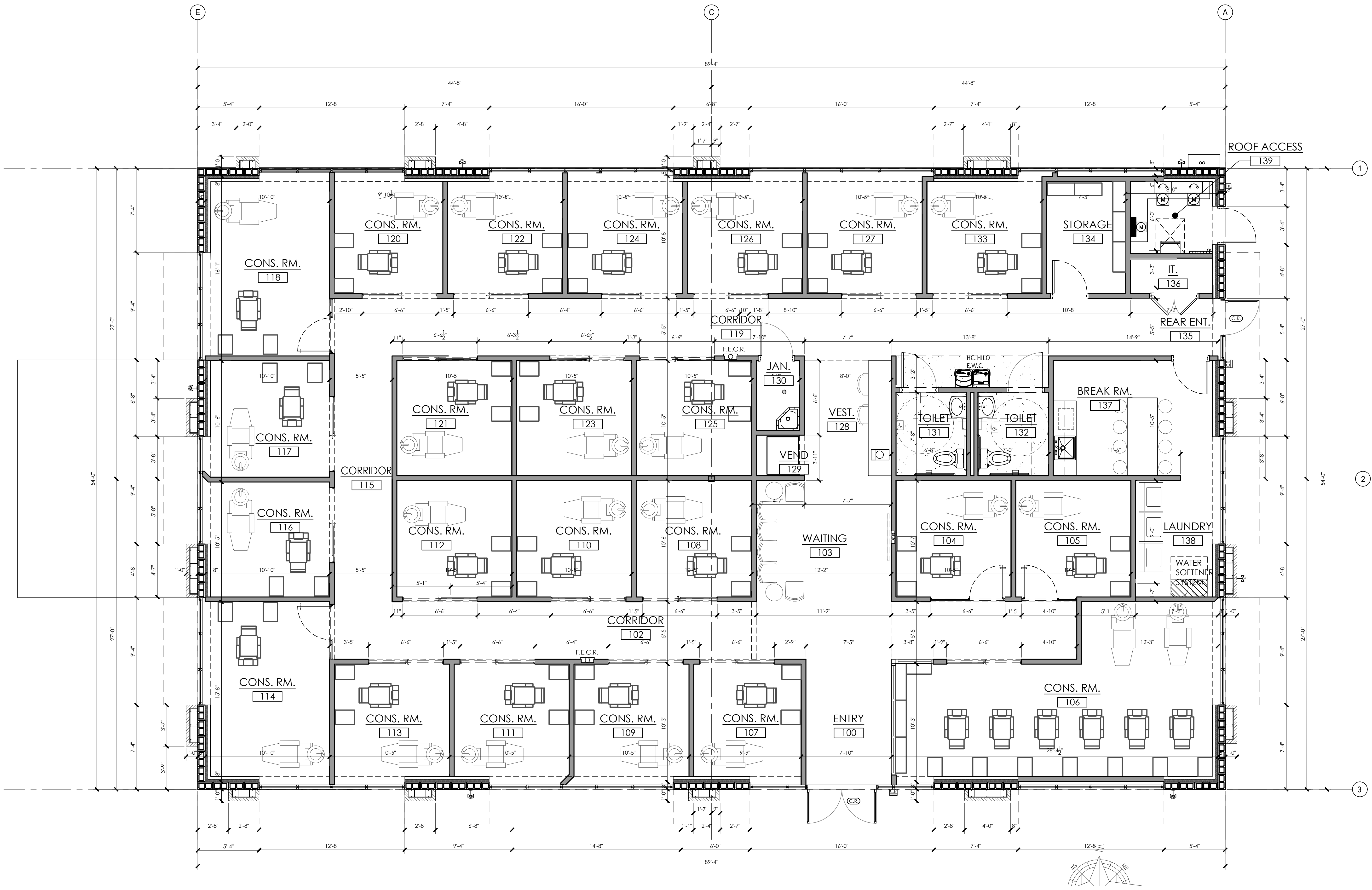
PROJECT NUMBER  
24-0919-01

SHEET TITLE

DIMENSION PLAN

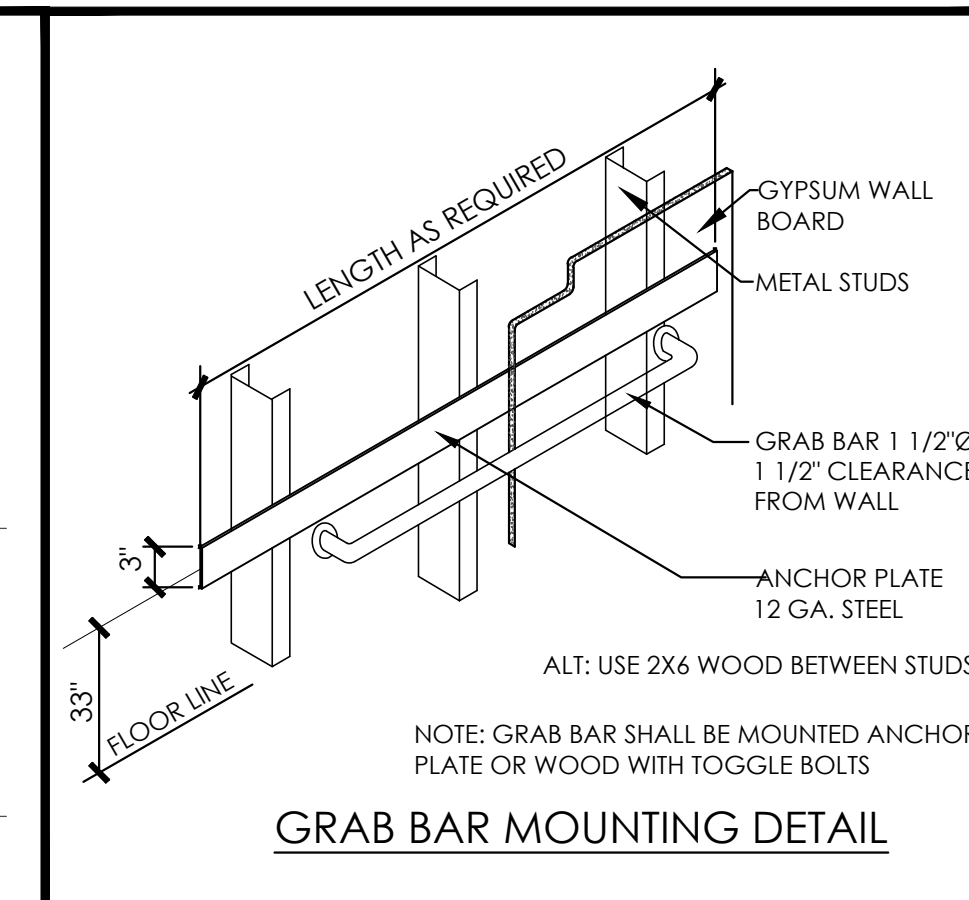
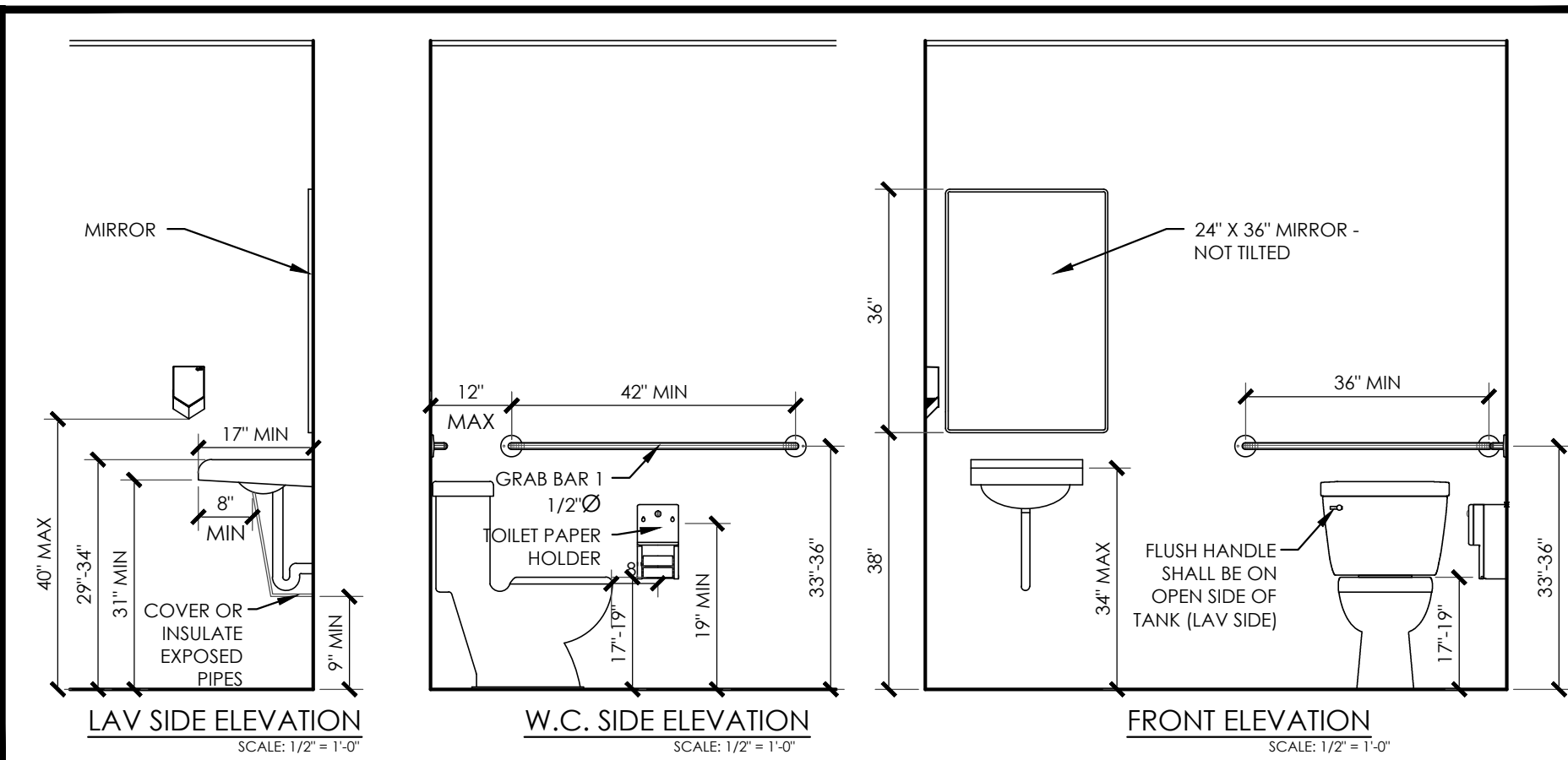
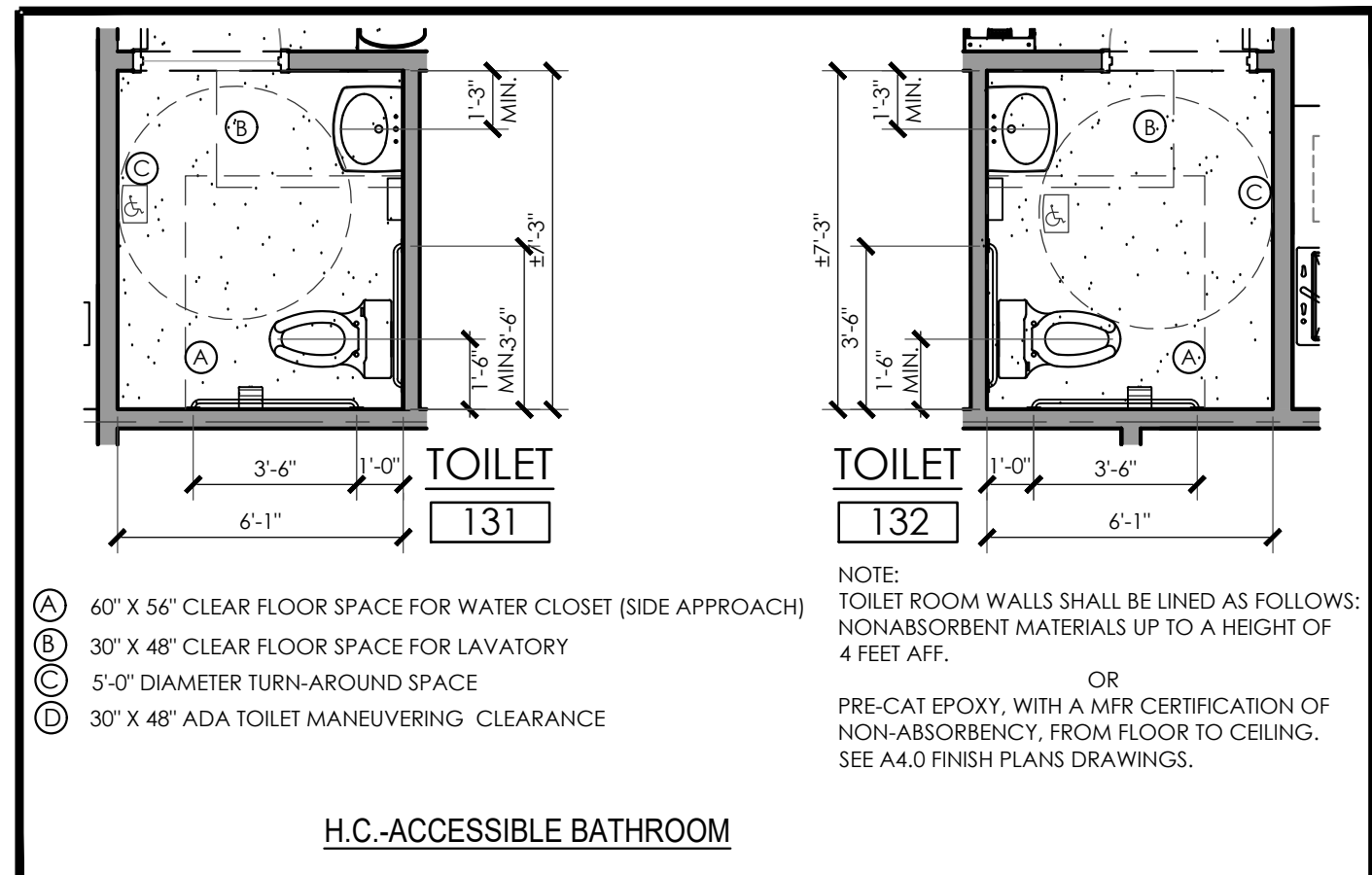
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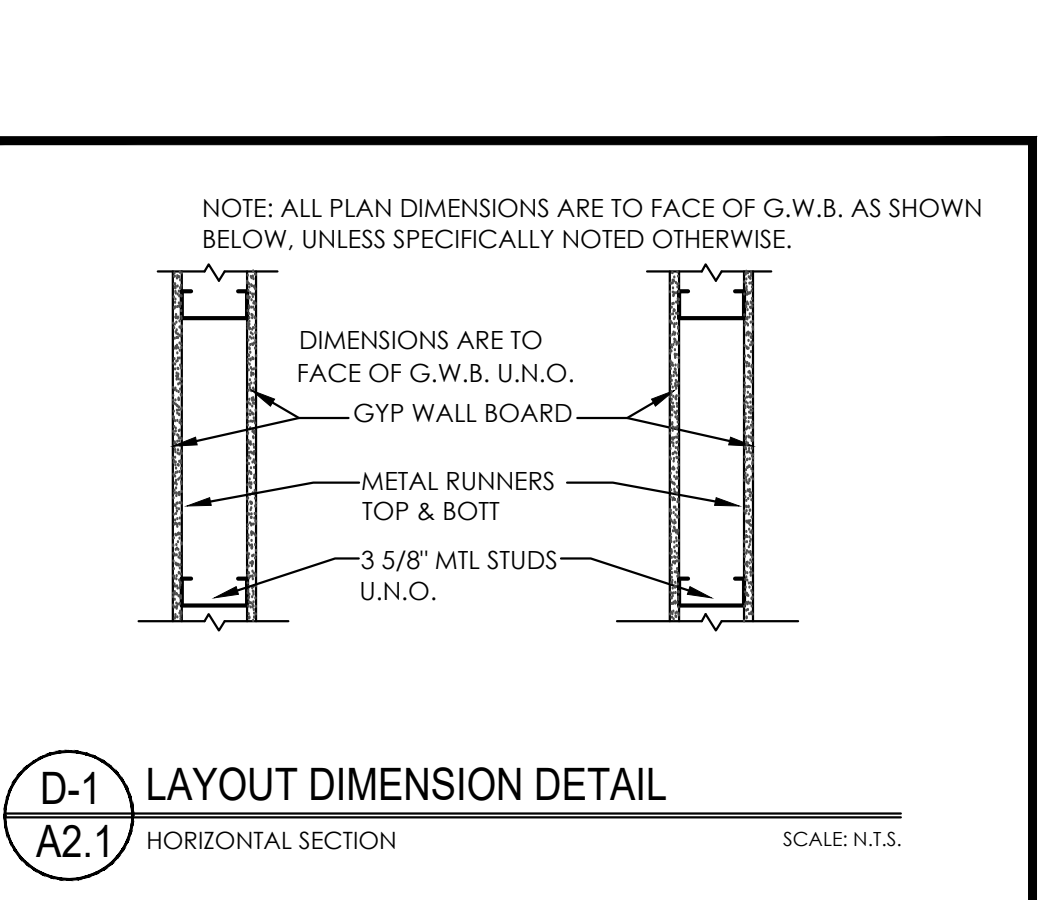


1/A2.1 DIMENSION PLAN -BUILDING 2

SCALE: 1/4" = 1'-0"



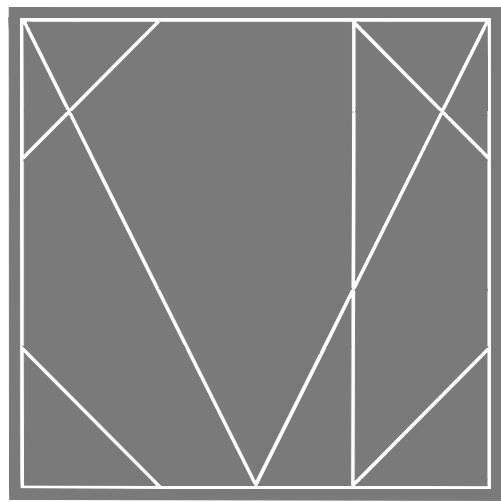
TOILET SYMBOL LEGEND	
ALL R/R ACCESSORIES SHALL BE BY BOBIRCK WASHROOM EQUIPMENT OR EQUAL UNO. AND SHALL BE BLACK U.N.O. FINISH.	
A.	SURFACE MOUNTED, SEAT COVER DISPENSER, SANITARY NAPKIN DISPOSAL & TOILET TISSUE DISPENSER BOBIRCK. TOILET 203: B-30727.MBLK; TOILET 203B-30919.MBLK
B.	HAND DRYER: DYSON HU02 AT TOILET (203) & (228) DYSON V (AB12) WHITE FINISH.
C.	FLOOR MOUNTED TOILETS: KOHLER K-5172 (ADD +RA FOR 203-TOILET TO RIGHT RIGHT HANDED)
D.	ADA 36" GRAB BAR WITH PEENED GRIPPING SURFACE BOBIRCK B-9806X36.MBLK
E.	ADA 42" GRAB BAR WITH PEENED GRIPPING SURFACE BOBIRCK B-9806X42.MBLK
F.	MIRROR: 18" X 36" BOBIRCK B-290-1836.MBLK
G.	TBD-BASED ON DESIGN
H.	TOUCHLESS FAUCET, MOEN M-POWER CA8302RL
I.	SOAP DISPENSER, PROVIDED AND INSTALLED BY CLIENT











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HEATHROW, FLORIDA. 32746

CONSTRUCTION

10.21.2025

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NO.	DESCRIPTION	DATE

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PROJECT ARCHITECT  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CUSTOMER NAME  
Providence One Partners

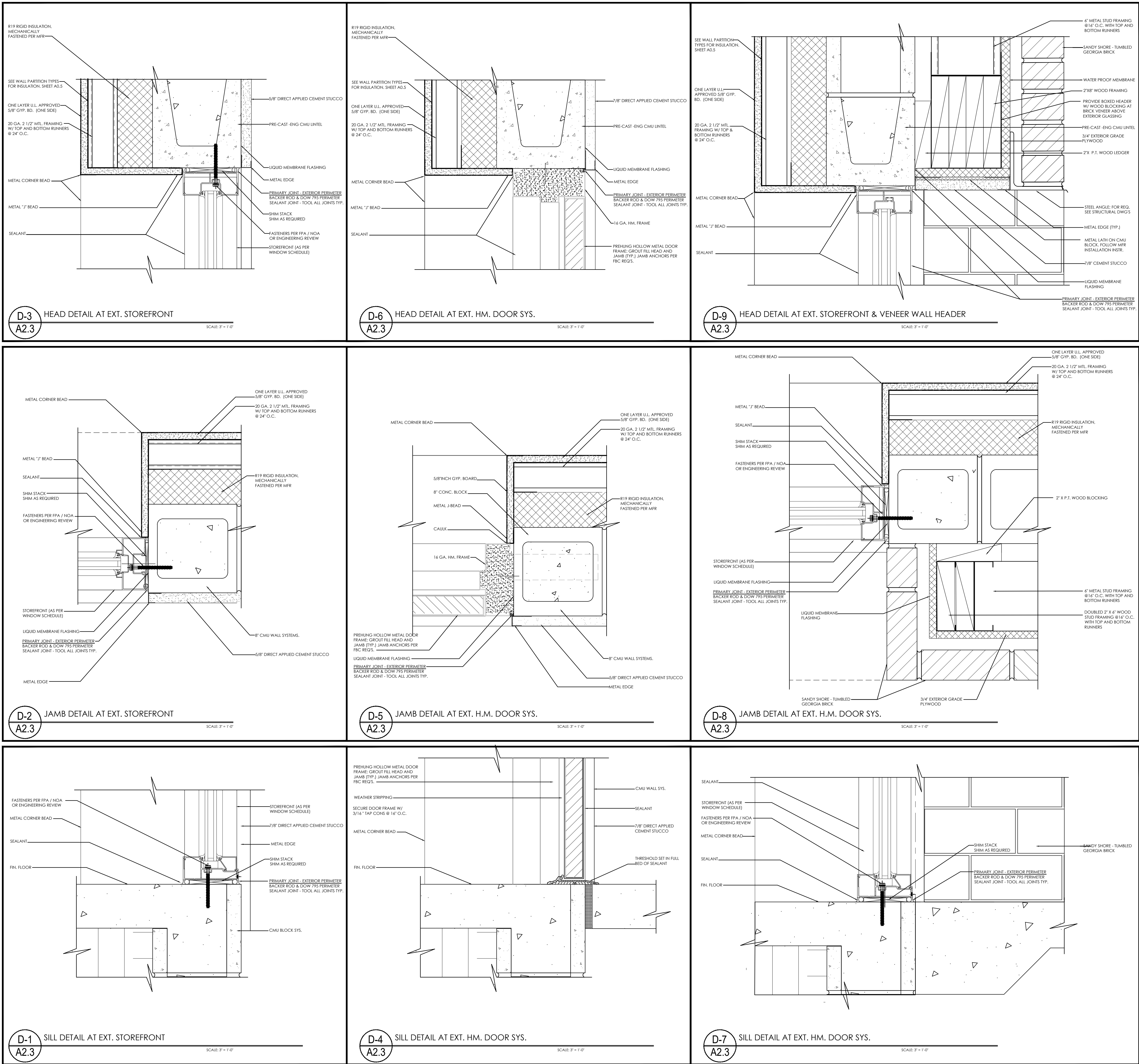
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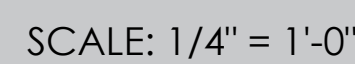
DOOR & WINDOW DETAILS

SHEET NUMBER

A2.3







**CEILING LAYOUT NOTES**

NOTE: Xs IN ROOMS ARE FOR REFERENCE AND COORDINATION OF CEILING PLACEMENT WITH DRAWING. USE DIMENSIONS, WHERE PRESENT, IN ADDITION TO X.

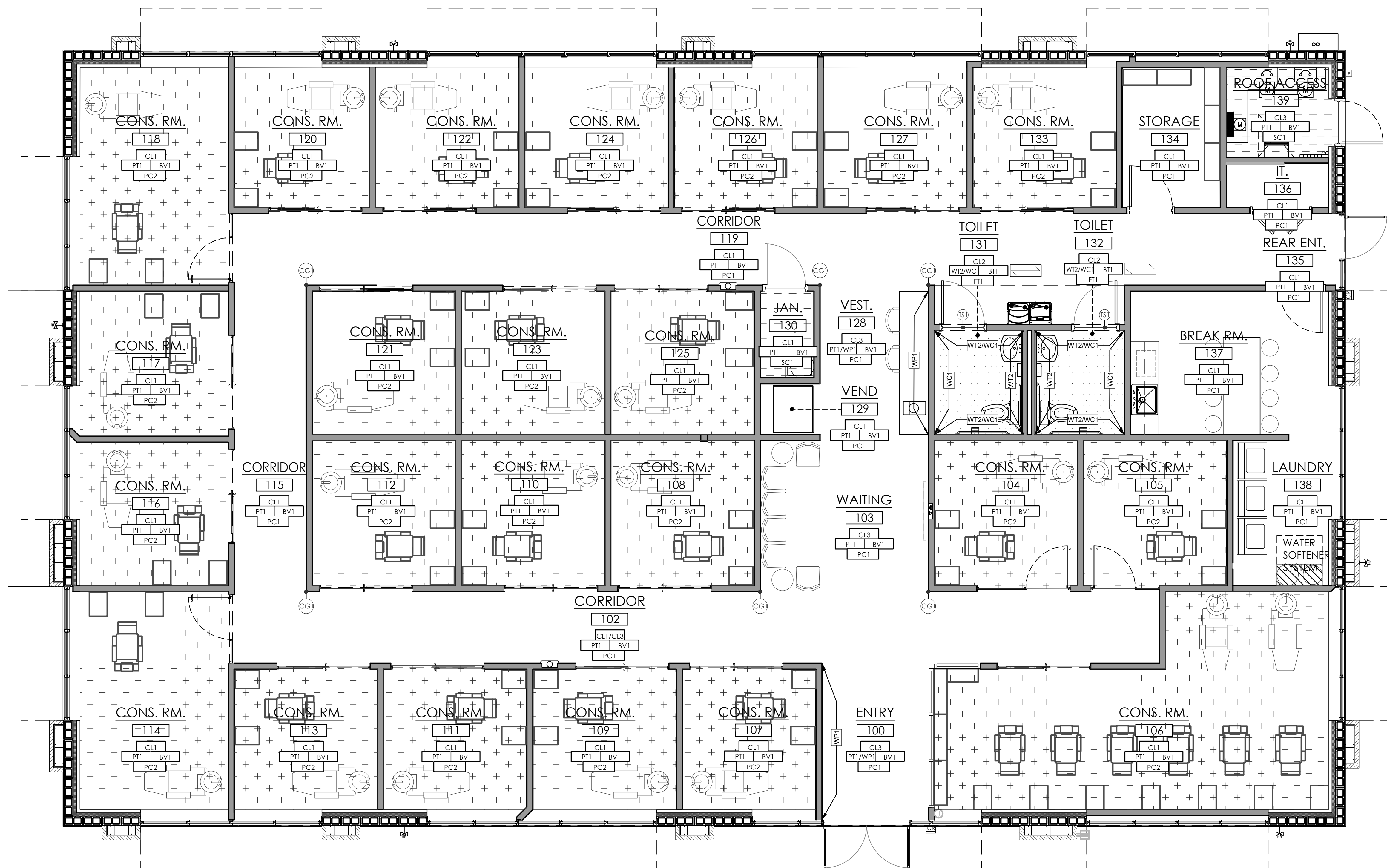
DATE LIGHT SELECTIONS AND HVAC EQUIPMENT MECHANICAL AND ELECTRICAL





PLAN LEGEND: <div><div>CEILING</div><div>WALL BASE</div><div>FLOOR</div></div>				FINISH PATTERN KEY:				GENERAL PLAN NOTES: (X)											
CEILING		FLOORING, WALL BASE AND TRANSITION STRIPS		PAINT, WALL TILE AND WALL COVERING		SURFACES		LAY DIRECTION INDICATOR											
<div>CL1</div> <div>CEILING TYPE 1 ARMSTRONG 24" X 24" X 5/8" DUNE ANGLED REGULAR, WHITE TILES ARMSTRONG 15/16" PRELUDE, WHITE GRID CONTACT JONATHAN ELKOD AT 407.803.3448 OR JELKOD@ARMSTRONGCEILING.COM</div>		<div>BV1</div> <div>VINYL WALL BASE - 1 MANUFACTURER: JOHNSONITE STYLE: TRADITIONAL WALL BASE COLOR: TBD SIZE: 4" HIGH, COVE LOCATION: AS INDICATED ON PLAN NOTES: PROVIDE IN 120" CONTINUOUS COILS, PROVIDE PRE-FORMED CORNERS, TO ORDER CONTACT KELLI RUSSELL AT 407/289-9351 OR KELLIRUSSELL@TARKET.COM</div>		<div>WP1</div> <div>WALL PANEL - 1 MANUFACTURER: ACOUSTICAL ART CONCEPTS DISTRIBUTOR: KOTOS INTERNATIONAL LTD PRODUCT: AUPANEL CONTRACT PATTERN: PROFILE WRAPPED WALL SLATS COLOR: ENGLISH OAK SIZE: 23 5/8" X 9 1/2" X 131/16" LOCATION: AS INDICATED ON PLAN NOTES: TREAT FOR CLASS A FIRE RESISTANCE, CONTACT DICH ROOS AT (954) 429-3885 OR DICH@ROOSNLT.COM</div>		<div>PL1</div> <div>PLASTIC LAMINATE - 1 MANUFACTURER: WILSONART COLOR: VERANDA TEAK 8209K-28 FINISH: 28 GLOSS LINE FINISH HANG ORIENTATION: VERTICAL LOCATION: AS INDICATED ON ELEVATIONS NOTES: CONTACT MEGHAN RAWLINS ENGER AT (407)832-5388 OR RAWLINM@WILSONART.COM</div>		<div>FT1 FLOOR TILE 1 - 1/3 OFFSET</div> <div></div>											
<div>CL2</div> <div>GYPSUM DRYWALL CEILING/SOFFIT FINISH: PT2</div>		<div>TS1</div> <div>TRANSITION STRIP - 1 MANUFACTURER: SCHLUTER SYSTEMS STYLE: RENJO V COLOR: TBD SIZE: TO BE DETERMINED BY INSTALLER LOCATION: AS INDICATED ON PLAN NOTES: TO ORDER CONTACT MATT LONG AT (407)795-0794 OR MLONG@SCHLUTER.COM</div>		<div>WT1</div> <div>WALL TILE - 1 DISTRIBUTOR: SPECIALTY TILE PRODUCTS STYLE: TETIS COLOR: OCEAN GLOSSY SIZE: 2" X 8" GROUT: TBD GROUT JOINT WIDTH: TBD INSTALL PATTERN: HORIZONTAL 1/3 OFFSET LOCATION: AS INDICATED ON PLAN NOTES: SEAL GROUT, INSTALL PER MANUFACTURER'S REQUIREMENTS, CONTACT SHANNON POOLER AT 407/489-2314 OR SPOOLER@SPECIALTYTILE.COM</div>		<div>QZ1</div> <div>QUARTZ COUNTERTOP - 1 MANUFACTURER: WILSONART COLOR: Q4074 ALTAMONTE FINISH: POLISHED THICKNESS: 3CM EDGE PROFILE: EASED LOCATION: AS INDICATED ON ELEVATIONS NOTES: CONTACT MEGHAN RAWLINS ENGER AT (407)832-5388 OR RAWLINM@WILSONART.COM</div>		<div>WT1 WALL TILE 1 - HORIZONTAL 1/3 OFFSET</div> <div></div>											
<div>CL3</div> <div>CEILING TYPE 3 EXPOSED CEILING STRUCTURE FINISH: PT3</div>		<div>PT1</div> <div>PAINT - 1 MANUFACTURER: SHERWIN WILLIAMS COLOR: SNOWBOUND SW 7004 SHEEN: EGGSHELL LOCATION: THROUGHOUT U.N.O.</div>		<div>WT2</div> <div>WALL TILE - 2 DISTRIBUTOR: EMSEER STYLE: INHALE COLOR: AZUL SIZE: 4" X 12" GROUT: TBD GROUT JOINT WIDTH: TBD INSTALL PATTERN: HORIZONTAL 1/3 OFFSET FLOOR TO CEILING ON WALL BEHIND TOILET, HORIZONTAL 1/3 OFFSET UP TO 48" AFF ON WING WALLS. LOCATION: AS INDICATED ON PLAN NOTES: SEAL GROUT, INSTALL PER MANUFACTURER'S REQUIREMENTS, CONTACT GRETA WECHSLER AT 407/580-7456 OR GRETAWECHSLER@EMSEER.COM</div>		<div>EPT1</div> <div>EXTERIOR PAINT - 1 MANUFACTURER: SHERWIN WILLIAMS PRODUCT: TBD COLOR: LIGHT FRENCH GRAY SW0055 SHEEN: TBD LOCATION: BUILDING BODY U.N.O. NOTES: PENDING CLIENT APPROVAL</div>		<div>WT2 WALL TILE 2 - HORIZONTAL 1/3 OFFSET</div> <div></div>											
<div>PC1</div> <div>POLISHED CONCRETE - 1 MANUFACTURER: SCORFIELD PRODUCT: FORMULA ONE POLISHED CONCRETE SYSTEM GRADE: TBD CLASS: TBD COLOR: G388 SOFT GRAY FINISH: TBD LOCATION: AS INDICATED ON PLAN NOTES: FOLLOW MANUFACTURER'S GUIDELINES</div>		<div>PT1A</div> <div>PAINT - 1A MANUFACTURER: SHERWIN WILLIAMS COLOR: SNOWBOUND SW 7004 SHEEN: SEMI-GLOSS LOCATION: DOOR FRAMES THROUGHOUT U.N.O.</div>		<div>CG1</div> <div>CORNER GUARD 1 MANUFACTURER: CONSTRUCTION SPECIALTIES PRODUCT NAME: ACROVYN COLLECTION: SUEDE WING AT 90 DEGREE CORNERS (VA-024N) 1-1/2" WING @ ANGLES OTHER THAN 90 DEGREES (VA-200MM) COLOR: TBD SIZE: 8'-0" LENGTHS LOCATION: AS INDICATED ON PLAN NOTES: PROVIDE NO TAPE VERSION AND INSTALL WITH ADHESIVE IN THE FIELD, CONTACT KELSEY TRACY AT (813)831-3344 OR KTRACY@CAS-CORP.COM</div>		<div>EPT2</div> <div>EXTERIOR PAINT - 2 MANUFACTURER: SHERWIN WILLIAMS PRODUCT: TBD COLOR: IRON ORE SW 7069 SHEEN: TBD LOCATION: CANOPES NOTES: PENDING CLIENT APPROVAL</div>		<div>WT2/WC1 WALL TILE 2 &amp; WALL COVERING 1 - TOILET</div> <div></div>											
<div>PC2</div> <div>POLISHED CONCRETE - 2 MANUFACTURER: SCORFIELD PRODUCT: FORMULA ONE POLISHED CONCRETE SYSTEM GRADE: TBD CLASS: TBD COLOR: 3055 STORM CLOUD FINISH: TBD LOCATION: AS INDICATED ON PLAN NOTES: FOLLOW MANUFACTURER'S GUIDELINES</div>		<div>PT2</div> <div>PAINT - 2 MANUFACTURER: SHERWIN WILLIAMS COLOR: HIGH REFLECTIVE WHITE SW 7757 256-C1 SHEEN: FLAT LOCATION: CL2</div>		<div>WC1</div> <div>WALLCOVERING - 1 DISTRIBUTOR: MGC PATTERN: CURVE APPEAL DG1212 WIDTH: 54" MATCH: NON REVERSIBLE STRAIGHT ACROSS MATCH LOCATION: ACCENT AS INDICATED ON PLAN NOTES: PREPARE WALL TO RECEIVE WALLCOVERING TO A LEVEL 5 FINISH, CONTACT ANN BANK AT (405)491-1752 OR ARANK@MCDWALL.COM</div>		<div>EB1</div> <div>EXTERIOR BRICK - 1 MANUFACTURER: ARISBRICK PRODUCT: TUMBLED GEORGIA BRICK COLOR: SANDY SHORE SHEEN: NA LOCATION: BRICK ACCENT NOTES: PENDING CLIENT APPROVAL, CONTACT MATT MARA AT MATT.MARA@ARISBRICK.COM OR (919)599-9999</div>		<div>WT2/WC1 WALL TILE 2 &amp; WALL COVERING 1 - TOILET</div> <div></div>											
<div>SC1</div> <div>SEALED CONCRETE - 1 SEAL EXPOSED CONCRETE FLOORS WITH A MATTE FINISH CLEAR SEALER</div>		<div>PT3</div> <div>PAINT - 3 MANUFACTURER: SHERWIN WILLIAMS COLOR: HIGH REFLECTIVE WHITE SW 7757 256-C1 SHEEN: DRYFLAT PAINT SYSTEM - FLAT LOCATION: CL3</div>		<div>WE1</div> <div>WALL EDGE - 1 MANUFACTURER: SCHLUTER SYSTEMS STYLE: JOLLY COLOR: TBD SIZE: TO BE DETERMINED BY INSTALLER LOCATION: EXPOSED EDGE OF WALL TILE NOTES: TO ORDER CONTACT MATT LONG AT (407)795-0794 OR MLONG@SCHLUTER.COM</div>		<div>CEILING</div> <div></div>		<div>FINISHED FLOOR</div> <div></div>											
<div>FT1</div> <div>FLOOR TILE - 1 DISTRIBUTOR: DAL TILE STYLE: SLATE ATTACHE COLOR: META WHITE S404 MATTE SIZE: 12" X 24" GROUT: TBD GROUT JOINT WIDTH: 1/8" INSTALL PATTERN: 1/3 OFFSET LOCATION: AS INDICATED ON PLAN NOTES: SEAL GROUT, INSTALL PER MANUFACTURER'S REQUIREMENTS, CONTACT LAURA POLLARD AT 407/861-4474 OR LAURAPOLLARD@DAL TILE.COM</div>		<div>WC1</div> <div>WALLCOVERING - 1 DISTRIBUTOR: MGC PATTERN: CURVE APPEAL DG1212 WIDTH: 54" MATCH: NON REVERSIBLE STRAIGHT ACROSS MATCH LOCATION: ACCENT AS INDICATED ON PLAN NOTES: PREPARE WALL TO RECEIVE WALLCOVERING TO A LEVEL 5 FINISH, CONTACT ANN BANK AT (405)491-1752 OR ARANK@MCDWALL.COM</div>				<div>CEILING</div> <div></div>		<div>FINISHED FLOOR</div> <div></div>											
<div>BT1</div> <div>FLOOR TILE - 1 DISTRIBUTOR: DAL TILE STYLE: SLATE ATTACHE COLOR: META WHITE S404 MATTE SIZE: 3" X 12" BULLNOSE P43C9 GROUT: TBD GROUT JOINT WIDTH: 1/8" INSTALL PATTERN: STRAIGHT LOCATION: NON TILED WALLS IN ALL RESTROOMS NOTES: SEAL GROUT, INSTALL PER MANUFACTURER'S REQUIREMENTS, CONTACT LAURA POLLARD AT 407/861-4474 OR LAURAPOLLARD@DAL TILE.COM</div>						<div>CEILING</div> <div></div>		<div>FINISHED FLOOR</div> <div></div>											
								<div>INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS REQUIRED BY SECTION 804.4.2 TO BE OF CLASS I OR II MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E648 OR NFPA 253.</div>											
								<div>INTERIOR WALL AND CEILING FINISH REQUIREMENTS</div>											
								<table><tr><th>GROUP</th><th>EXIT ENCLOSURES &amp; EXIT PASSAGEWAYS</th><th>CORRIDORS</th><th>ROOMS &amp; ENCLOSED SPACES</th></tr><tr><td>BUSINESS</td><td>B</td><td>C</td><td>C</td></tr></table>				GROUP	EXIT ENCLOSURES & EXIT PASSAGEWAYS	CORRIDORS	ROOMS & ENCLOSED SPACES	BUSINESS	B	C	C
GROUP	EXIT ENCLOSURES & EXIT PASSAGEWAYS	CORRIDORS	ROOMS & ENCLOSED SPACES																
BUSINESS	B	C	C																
								<div>(PER FBC 2023 803.11)</div>											

## 2/A4.0 FINISH LEGEND DETAILS -BUILDING 1







(BOXED NOTE NUMBERS ARE KEYED TO PLAN)

- | CABINETS: MATERIAL AND HARDWARE: |                  |
|----------------------------------|------------------|
| TOPS                             | 3/4" ABX PLYWOOD |
| DOORS                            | 3/4" ABX PLYWOOD |
| DRAWER FRONTS                    | 3/4" ABX PLYWOOD |
| BACK SPLASH                      | 5/8" ABX PLYWOOD |
| BASE                             | 3/4" ABX PLYWOOD |
| SHELVES                          | 3/4" ABX PLYWOOD |
| OTHER                            | 3/4" ABX PLYWOOD |

ALL EXPOSED SURFACES AND EDGES OF PLYWOOD AND MDF SHALL BE COVERED WITH PLASTIC LAMINATE, GRADE: PREMIUM, COLOR: SELECTED BY CLIENT.

PLASTIC LAMINATE FOR CABINET LININGS: 0.020" THICK, CABINET LININGS TYP WHITE (HIGH PRESSURE)

DRAWER GUIDES  
KNEE DRAWERS

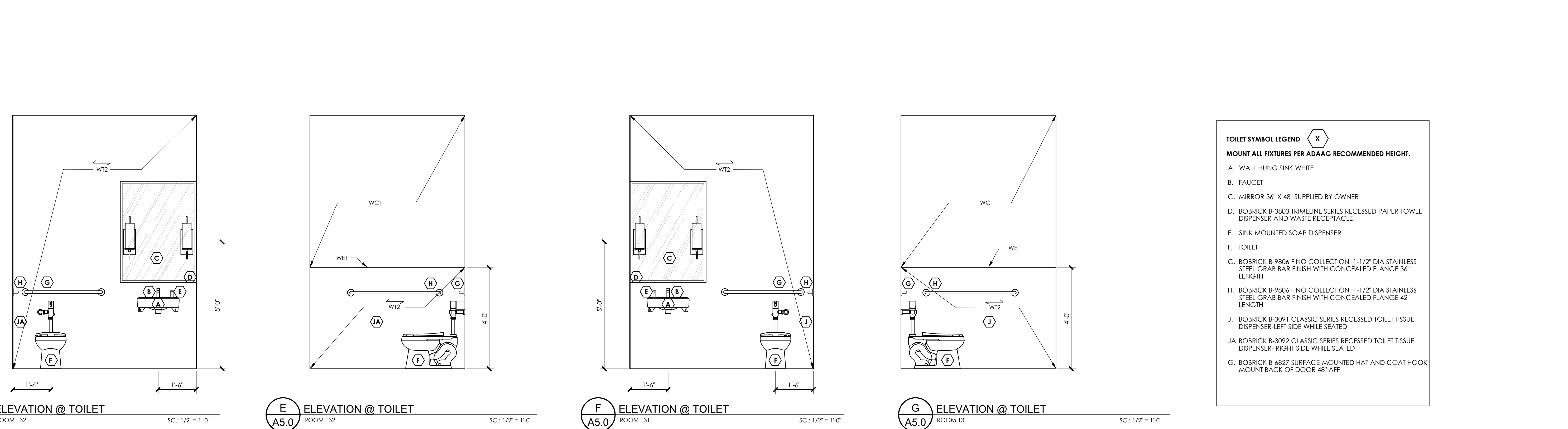
AS ADJUSTABLE SHELVES  
BC BASE CABINET

MILLWORK

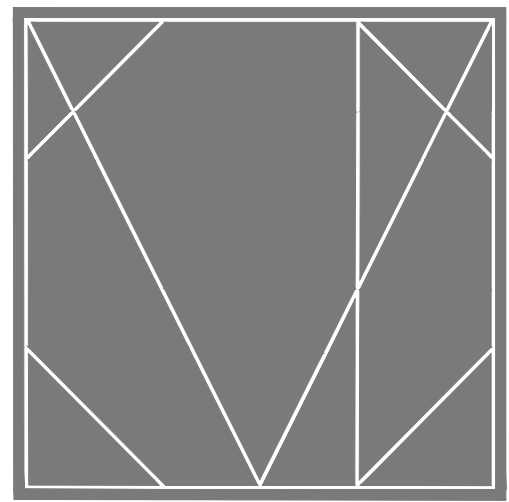
SHEET NUMBER

A5.0

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ARCHITECT OF RECORD  
FRANK W. CAMPBELL AIA  
FL LIC. NO. AR0016053  
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SCALE

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CONSULT LAND DEPT.

PROJECT DESCRIPTION:  
A NEW OFFICE BUILDING FOR  
PROVIDENCE ONE PARTNERS  
BUILDING - 01  
1145 BUSINESS CENTER DRIVE  
HEATHROW, FLORIDA, 32746

SCALE: 1/4" = 1'-0"

CONSTRUCTION

10.21.2025

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TEAM  
PROJECT ARCHITECT  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME  
Providence One Partners

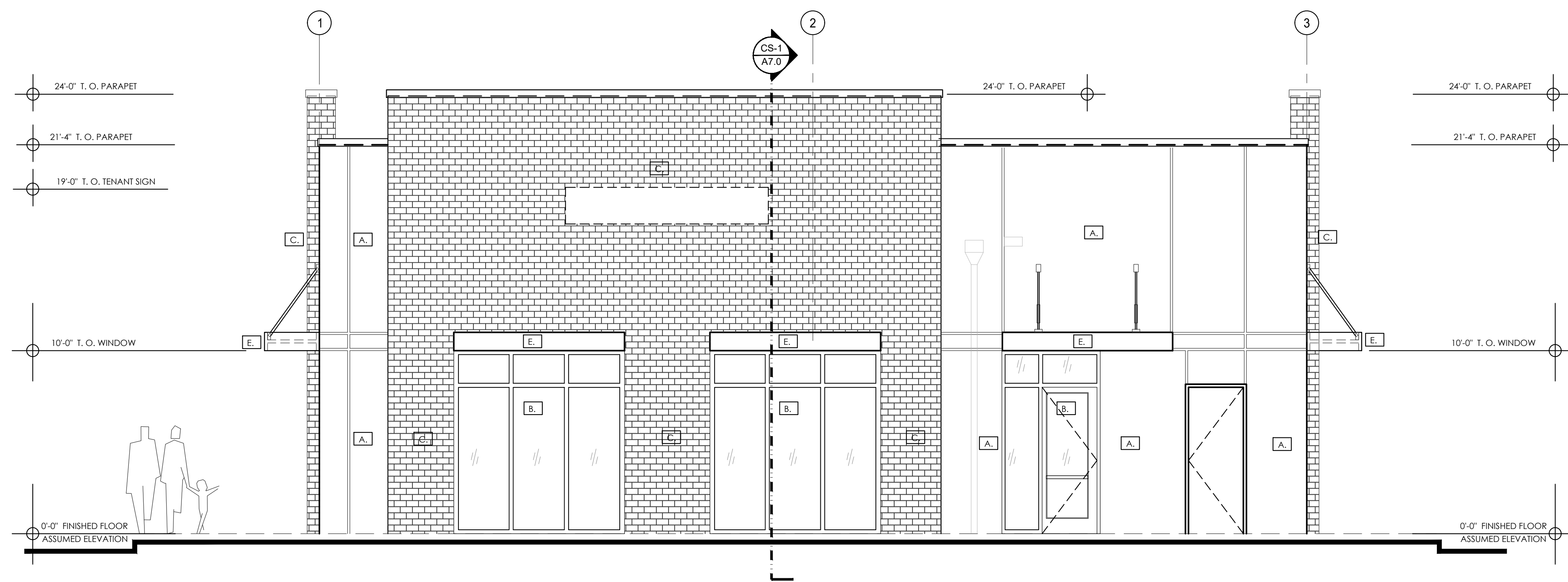
PROJECT NUMBER  
24-0919-01

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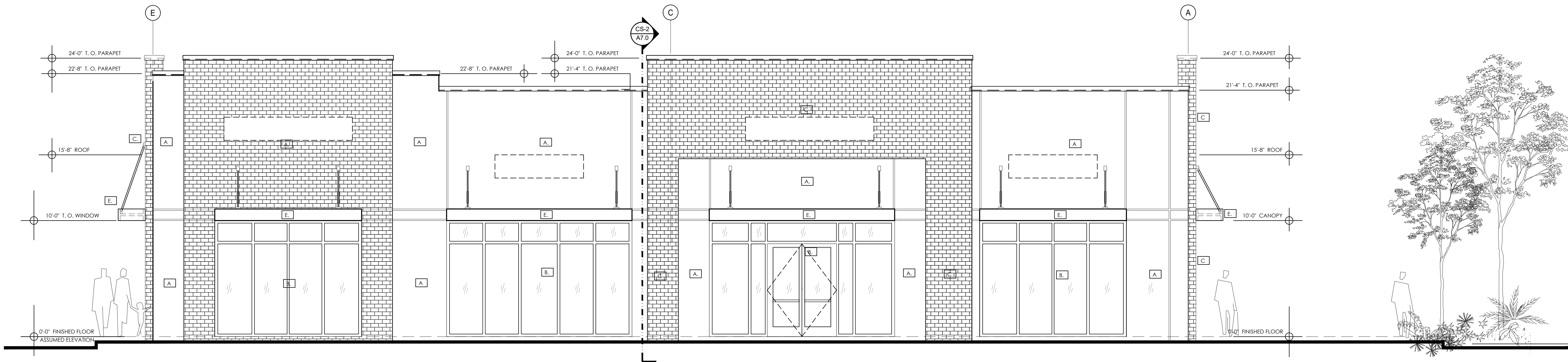
EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

A6.0



1/A6.0. NORTH ELEVATION - BUILDING 1 SCALE: 1/4" = 1'-0"

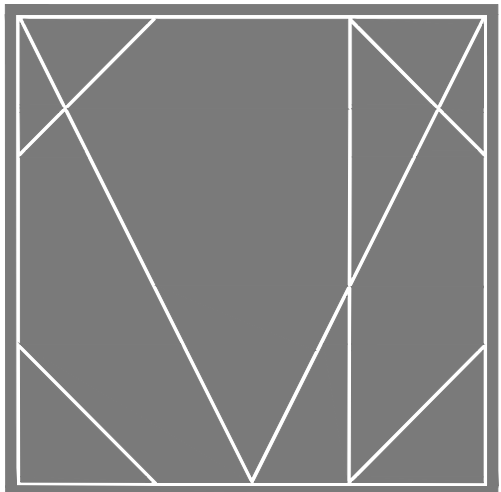


2/A6.1 EAST ELEVATION - BUILDING 1 SCALE: 1/4" = 1'-0"









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FL Lic. No. AR0616053  
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PROJECT DESCRIPTION:  
A NEW OFFICE BUILDING FOR  
PROVIDENCE ONE PARTNERS  
BUILDING - 01  
1145 BUSINESS CENTER DRIVE  
HEATHROW, FLORIDA, 32746

BLUE FOR

CONSTRUCTION

DATE: 10.21.2025

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT TEAM  
PRINCIPAL IN CHARGE  
F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME  
Providence One Partners

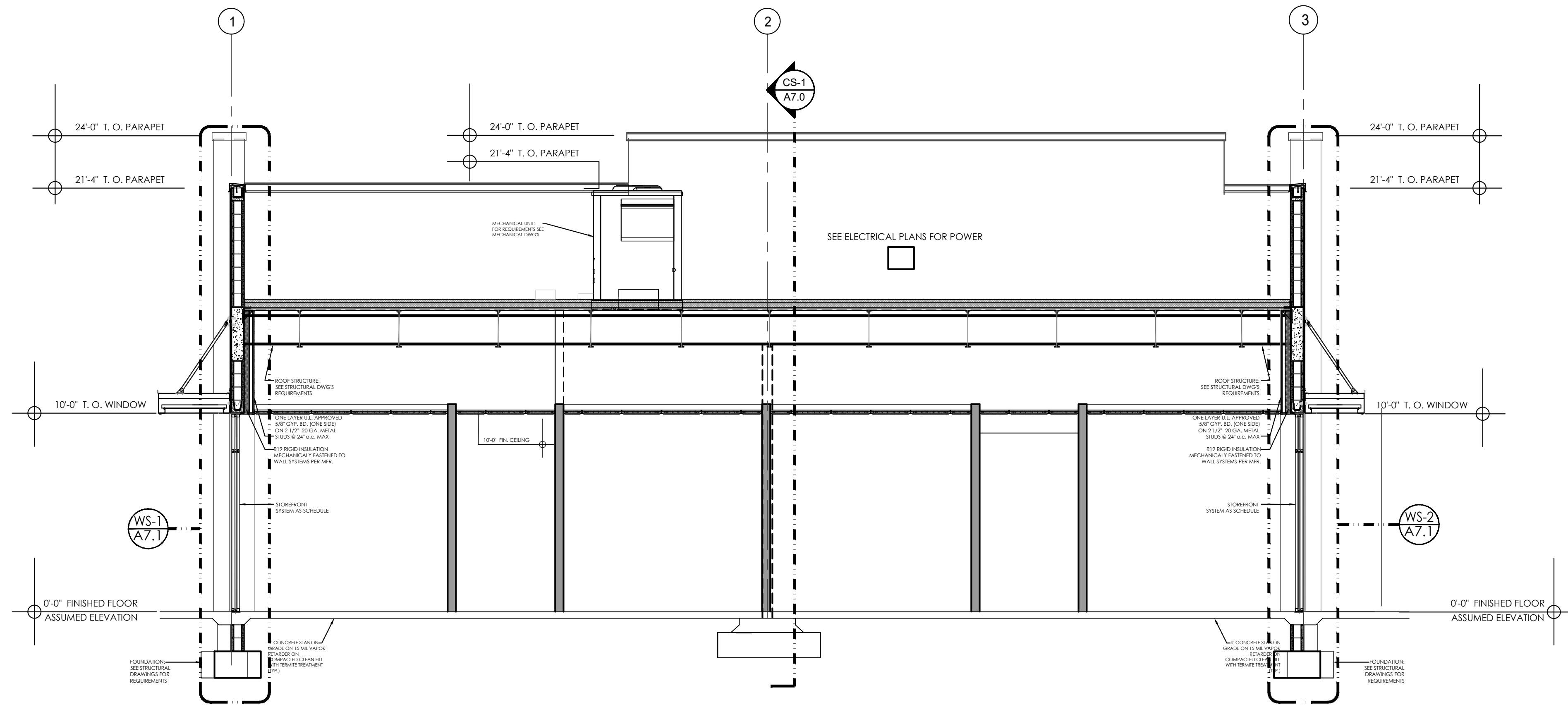
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24-0919-01

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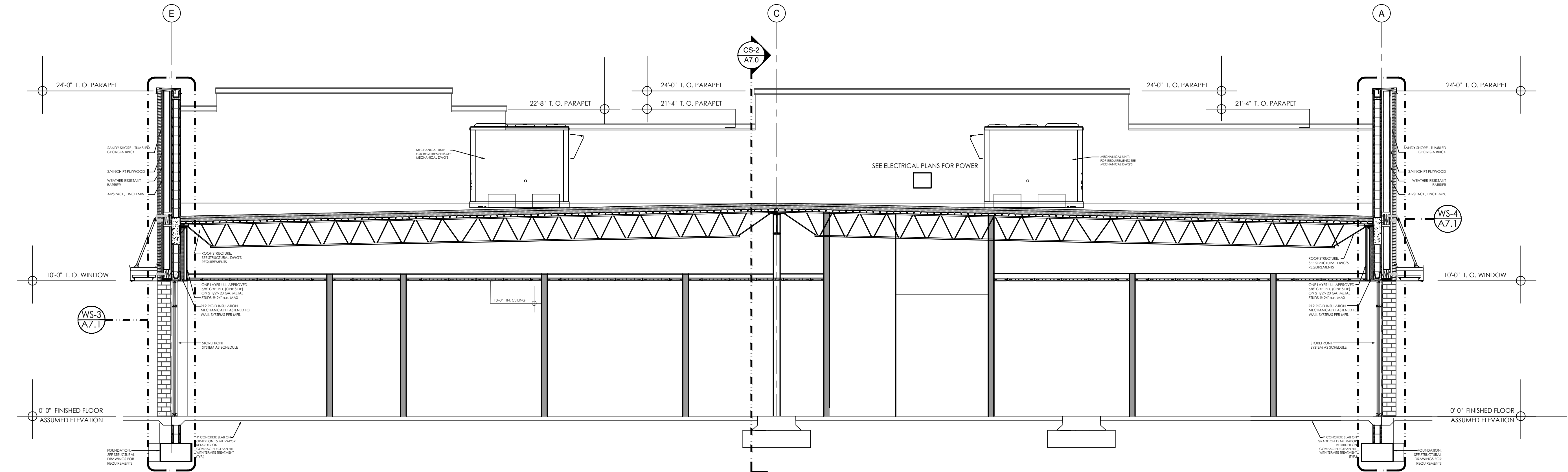
CROSS SECTIONS

SHEET NUMBER

A7.0

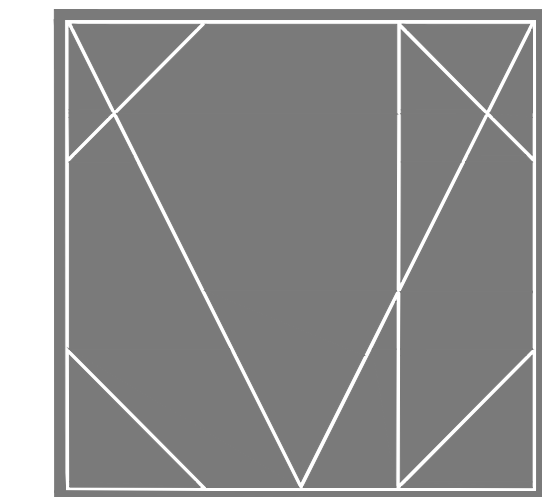
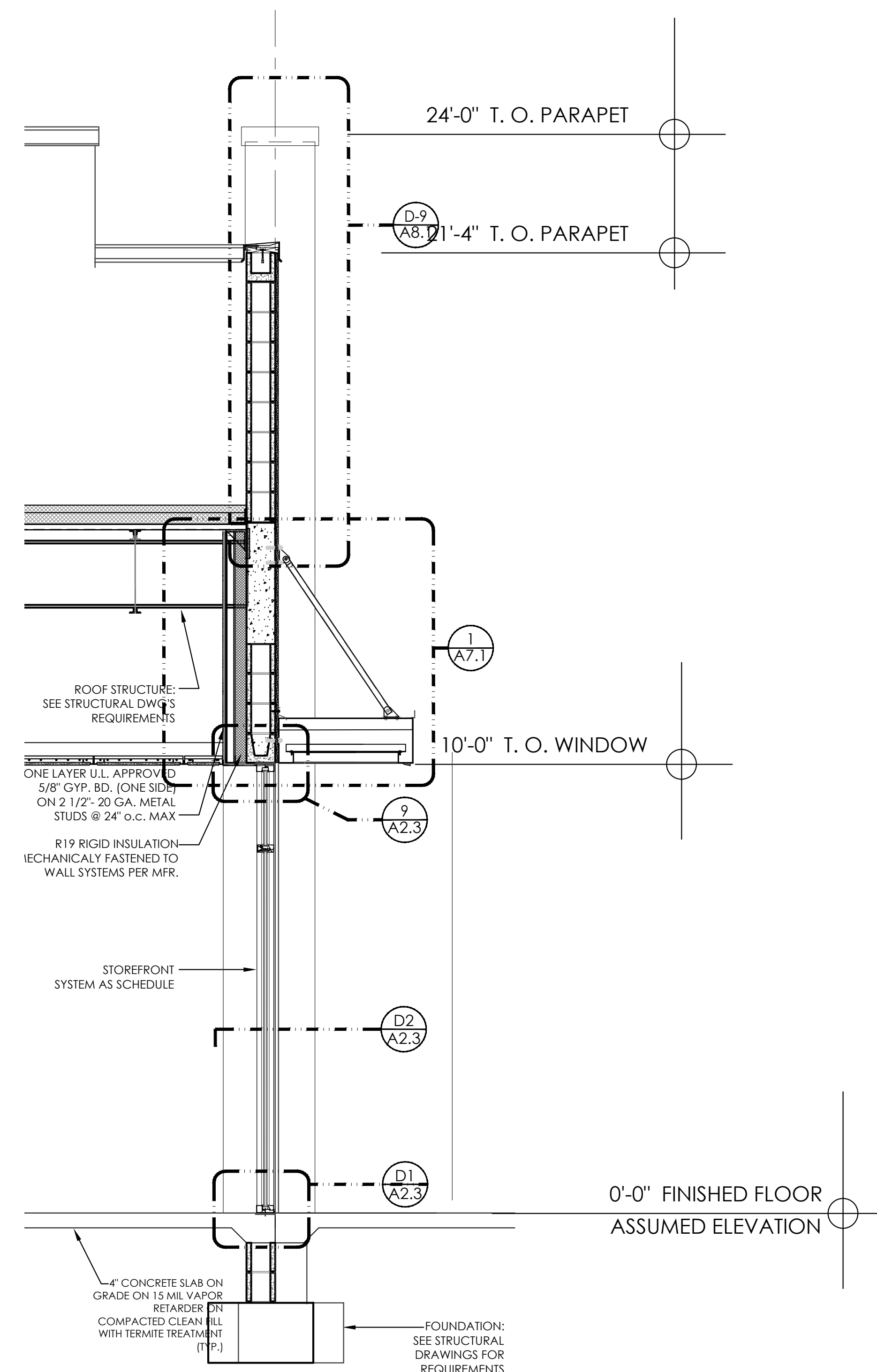
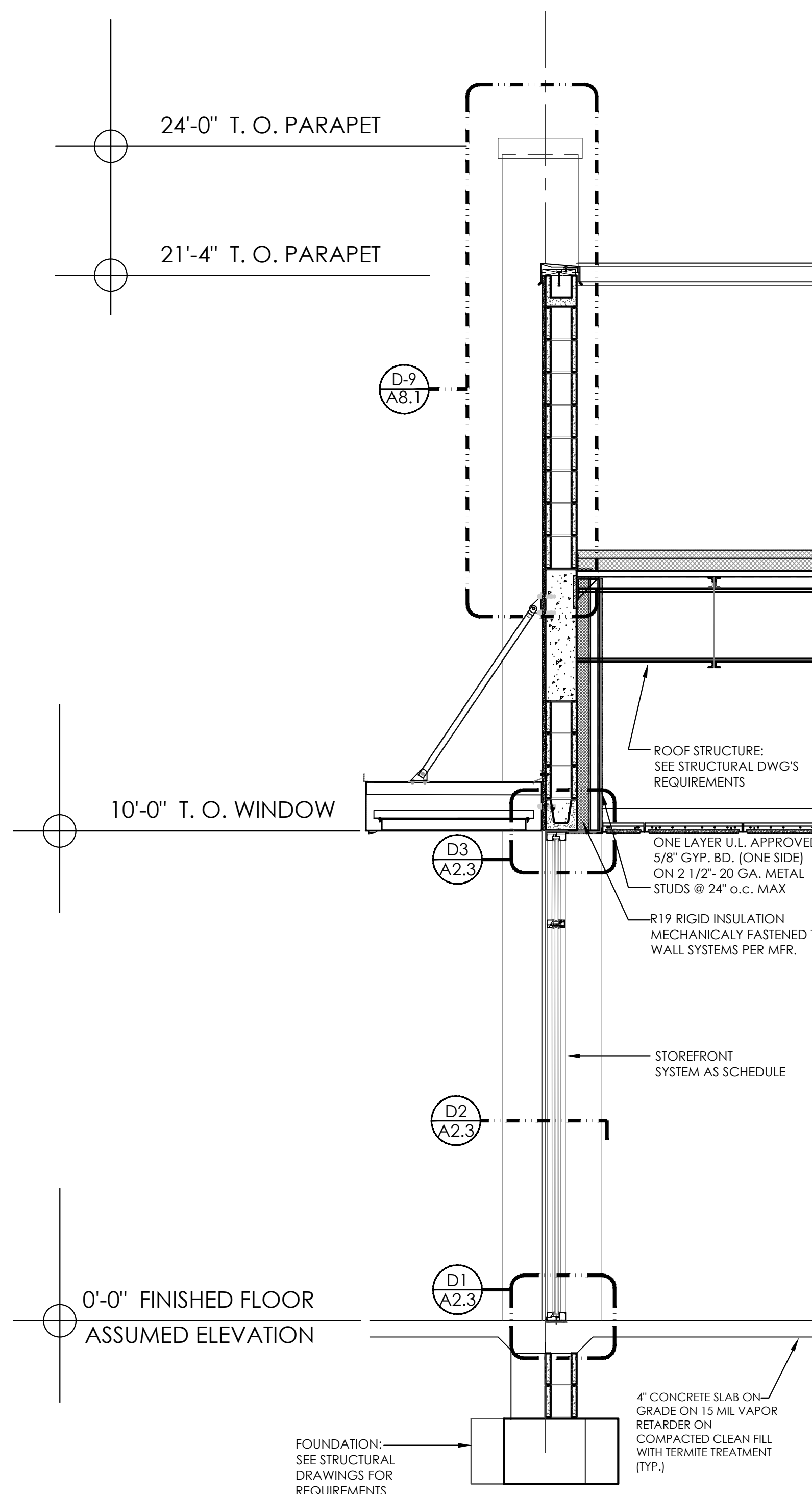
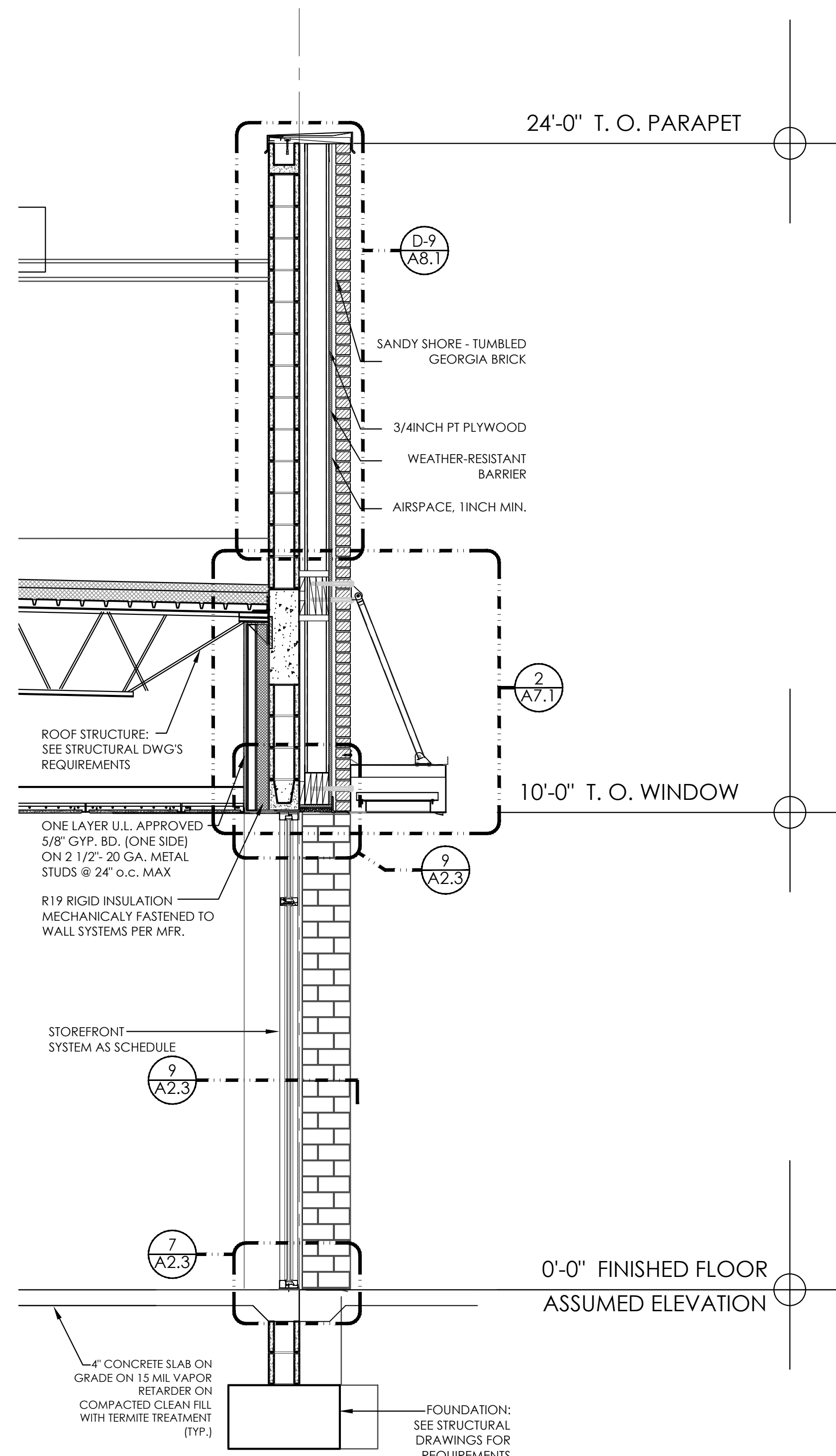
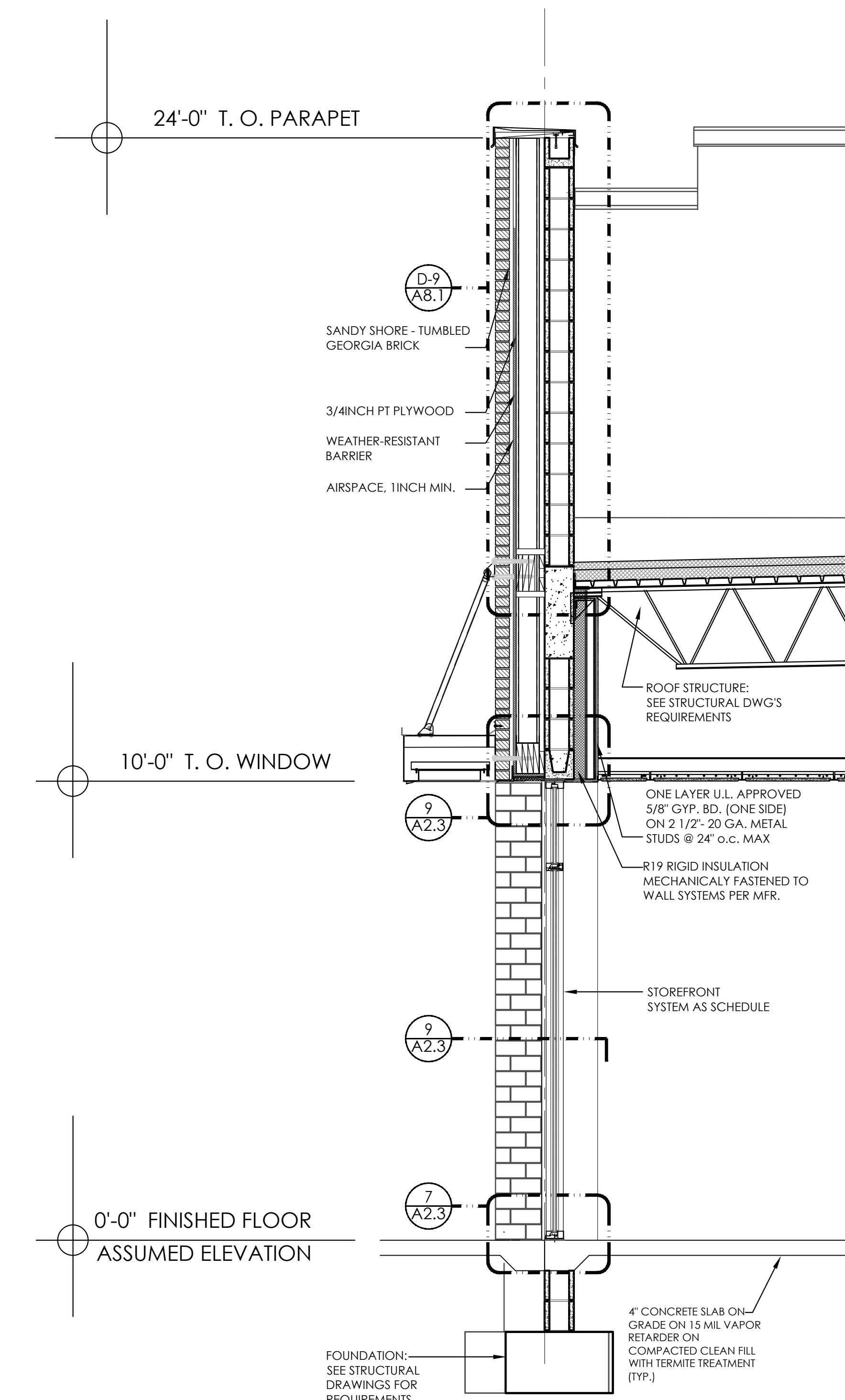
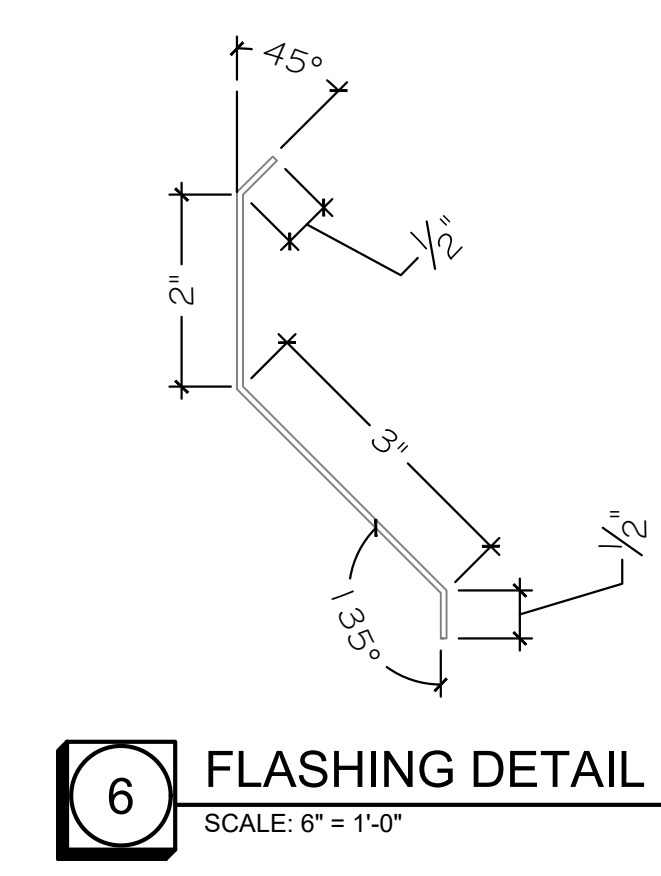
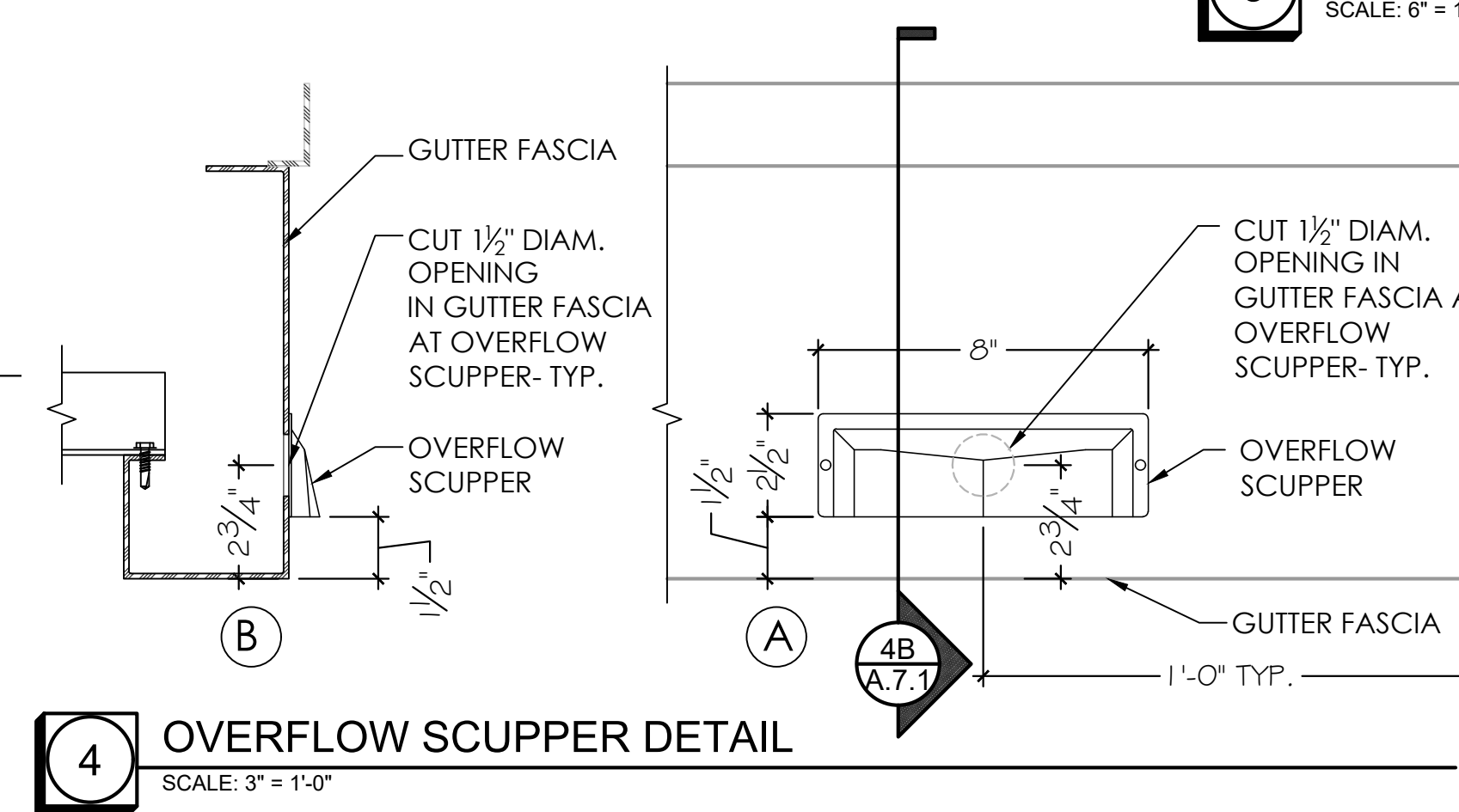
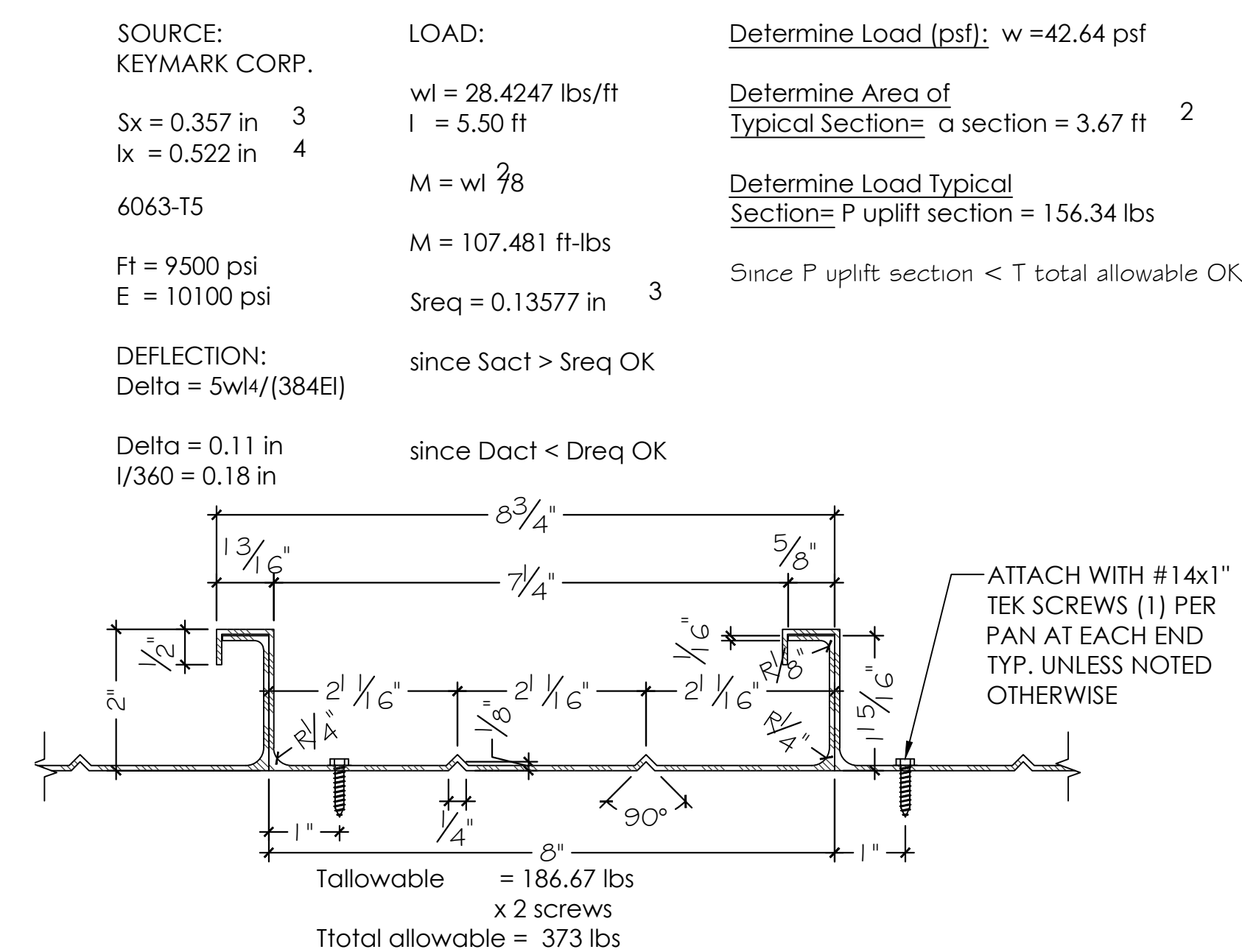
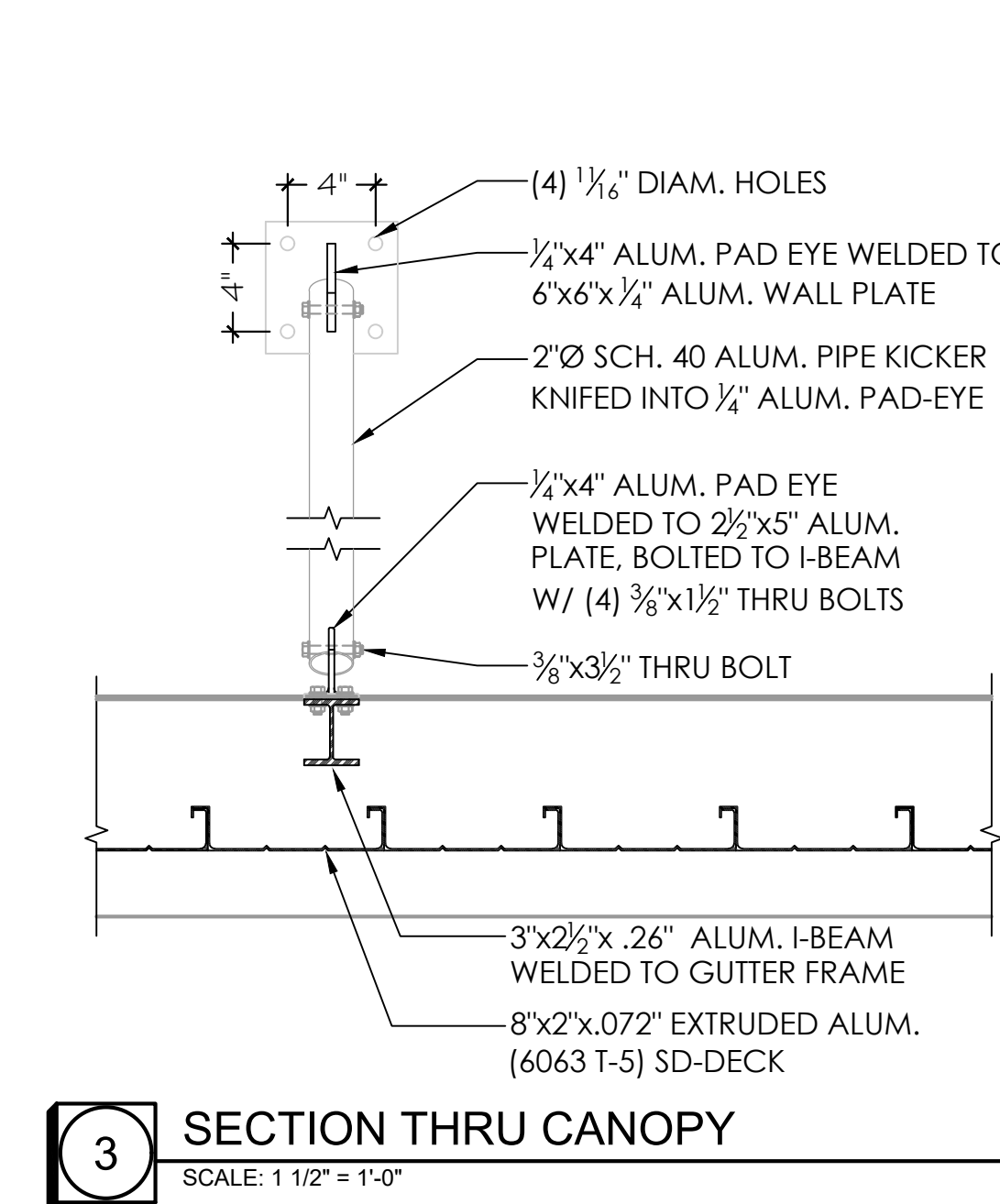
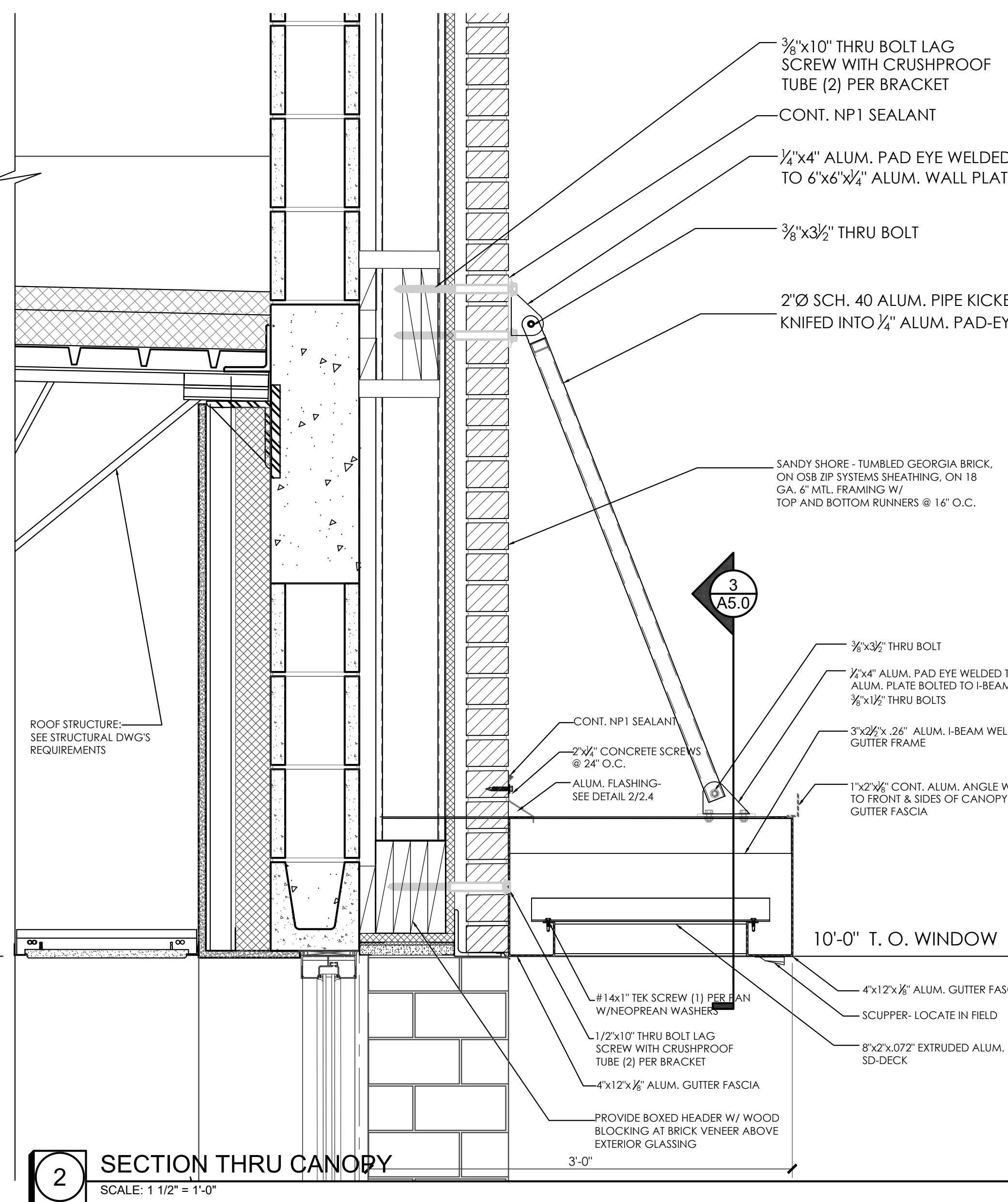
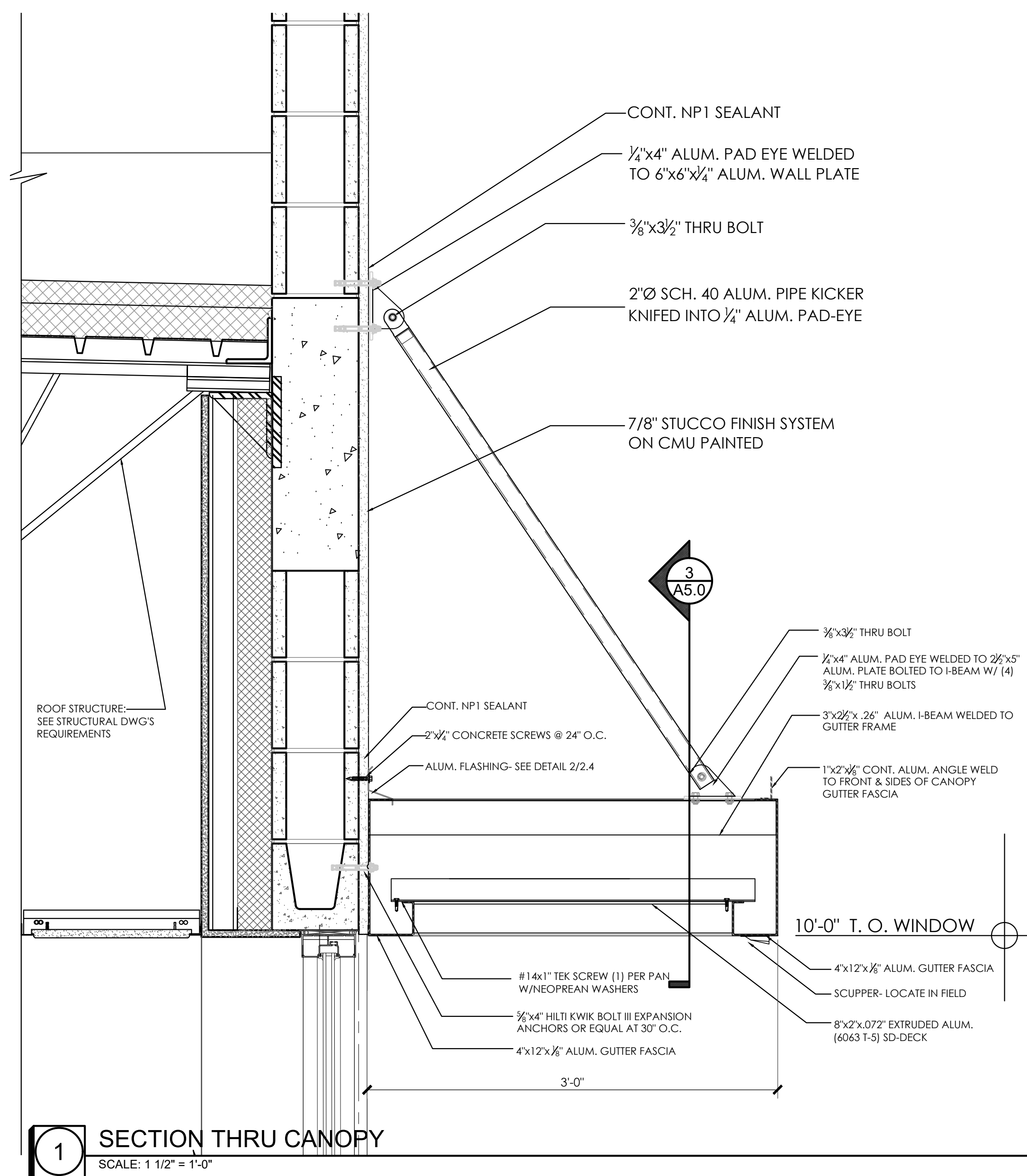


CS-2  
A7.0  
BUILDING SECTION - BUILDING 2  
SCALE: 1/4" = 1'-0"



CS-1  
A7.0  
BUILDING SECTION - BUILDING 2  
SCALE: 1/4" = 1'-0"





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Orlando, Florida 32801  
Phone: 407.930.6016  
FL Lic. No. AA26003339

ARCHITECT OF RECORD  
FRANK W. CAMPBELL AIA  
FL LIC NO. AR0016053

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PROJECT DESCRIPTION:  
A NEW OFFICE BUILDING FOR  
PROVIDENCE ONE PARTNERS  
BUILDING - 01  
1145 BUSINESS CENTER DRIVE  
HEATHROW, FLORIDA 32746

## CONSTRUCTION

ISSUE DATE  
10.21.2025

[illegible]

PROJECT TEAM  
PRINCIPAL IN CHARGE

F. CAMPBELL  
PROJECT MANAGER  
B. BUCKLEY

CLIENT NAME  
**Providence One Partners**

PROJECT NUMBER  
24-0919-01

WALL SECTIONS

### A7.1





ADJECTIVE OF RECORD

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\_\_\_\_\_

GENERAL CONTRACTOR SHALL COORDINATE ALL NEW ROOF DRAININGS WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND HVAC CONTRACTORS. SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

1. ALL CARPENTRY WORK SHALL BE PERFORMED BY LICENSED GENERAL CONTRACTOR.

2. PHASED ROOFING CONSTRUCTION IS NOT ALLOWED.

3. DETAIL MARK ITEMS INDICATE LOCATIONS OF WORK TO BE COMPLETED. DETAIL MARKS HAVE NO DETAIL MARKS SHALL BE PERFORMED AS SHOWN WITH DETAIL MARKS.

4. ELEVATIONS SHOWN ARE TAPERED INSULATION ELEVATION ABOVE MILL ROOF DECK. ALL COVER AREAS SHALL BE 2" MINIMUM INSULATION THICKNESS. ROOF DRAIN SLOPE 1/4" PER' ALL ROOF COVER ABOVE 9' PER' (1/2").

5. CONTRACTOR SHALL SUBMIT SHOP DRAWING WITH MATERIALS AND METHODS OF INSTALLATION AND UPLIFT REQUIREMENTS AT ROOF AREAS.

6. ALL SHEET MILL CORNERS, INTERSECTIONS, TERMINATIONS, TRANSITIONS, ETC. SHALL BE ONE PIECE SOLDIERED TOGETHER AND REINFORCED WITH 2" MINIMUM UPLIFT REQUIREMENTS.

7. ALL EDGE CONDITIONS AND PENETRATIONS SHALL HAVE 2-PLY FIBER GLASS FELT ENVELOPE.

8. ALL DISSIMILAR MATERIALS (METAL, WOOD, CEMENTITIOUS CONCRETE, ETC.) SHALL BE SEPARATED WITH BITUMINOUS COATING. ALL METALS SHALL BE GALVANIZED.

7A 060 TPO ROOF SYSTEM, OVER SLOPED METAL DECK AND  
STRUCTURAL ROOF TRUSS ASSEMBLY.

7B PARAPET MIL COPING W/ ONE - PICE FABRICATED CORNER /  
TERMINATIONS.

7C TAPERED INSULATION CRICKET.

7D ROOF R VALUE=19

15A HVAC UNIT. SEE MECHANICAL DRAWINGS FOR REQUIREMENTS

15B VENT STACK. SEE MECHANICAL DRAWINGS.

15C EXHAUST FAN. SEE MECHANICAL DRAWINGS.

15D ROOF DRAIN WITH SUMP. SEE MECHANICAL DRAWINGS.

15E ROOF OVERFLOW DRAIN. SEE MECHANICAL DRAWINGS.

15F CONDENSATE LINE. SEE MECHANICAL DRAWINGS.

15G CONDENSER UNIT. SEE MECHANICAL DRAWINGS.

15H ROOF DRAIN. PROVIDE NEW AT EXISTING ROOF LOCATIONS.

NOTE: AWNING SUBCONTRACTOR TO FIELD VERIFY ALL SIZES  
PRIOR TO MANUFACTURE

ISSUE FOR  
PRELIMINARY NOT  
FOR CONSTRUCTION

2.12.2024

[illegible]

PROJECT MANAGER  
**B. BUCKLEY**

Providence One Partners

PROJECT NUMBER:

24-0919-01

### ROOF PLAN

SHEET NUMBER

A8.0



SCALE: 1/4" = 1'-0"



